

Inspection reference: 592B

# Confidential Inspection Report

**308 Matcham Road  
MATCHAM, NSW 2250**

October 13, 2022



**Prepared for: Graham MUNRO**

This report is the exclusive property of the inspection company and the client whose name appears herewith and its use by any unauthorized persons is prohibited.

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## VISUAL BUILDING INSPECTION REPORT

### Client & Site Information:

**COMMISSIONED BY:**

Vendor.

**YOUR REF/FILE NUMBER:**

592B.

**DATE OF INSPECTION:**

Thursday, 13th October 2022.

**IMPORTANT NOTE:**

**Life of Report:**

This report should not be relied upon if the contract for sale becomes binding more than thirty days after the initial inspection.

A re-inspection after this time is essential.

The inspector is under no obligation to advise whether any property should or should not be purchased.

**Verbal Report:**

This report overrides any verbal report or conversation provided by the inspector to the client.

The report must be read thoroughly before proceeding with any purchase.

**THERMAL IMAGING:**

**Thermal Imaging:**

Thermal imaging has been carried out on internal unfurnished wall surfaces, see Pest Report.

**VENDOR:**

Graham MUNRO.

**PROPERTY ADDRESS:**

308 Matcham Road, MATCHAM NSW 2250.

**PURPOSE OF THIS REPORT:**

Visual Pre Sale Building Inspection in accordance with AS4349.1-2007.

**INSPECTION AGREEMENT:**

This report is subject to the terms, scope, description and limitations of the inspection agreement that was entered into prior to the inspection being performed.

(Note: This agreement may have been entered into by your Solicitor/Conveyancer or other agent).

If you are unsure in any way as to how that inspection agreement impacts this inspection and report, please seek clarification prior to committing to the property.

Agreement Number: 592B

Agreement Date: 12th October 2022

**INSPECTED BY:**

Anthony WELCH.

**Important Information Regarding the Scope and Limitations of the Inspection and this Report**

**This report complies with Australian Standard AS 4349.1 - 2007 Inspection of Buildings.**

**Part 1: Pre Purchase Inspections - Residential Buildings**

**If the property is not part of a Strata or Company Title - Appendix C of the Standard applies.**

**If the property is part of a Strata or Company Title - Appendix B of the Standard applies.**

**Important Information:** Any person who relies upon the contents of this report does so acknowledging that the following clauses both below **and** at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Standard Property Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

**The Purpose of the Inspection:** The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings). The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

**The Scope of the Inspection:** The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007. The scope of the inspection will cover the main building and the property within 30 metres of the main building subject to this inspection report.

If the property inspected is part of a Strata or Company Title (Appendix B), then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property. Purchasers should be aware that their liability for the cost of repairing building defects is not restricted only to the particular unit that is being purchased, but may include contribution to the whole of the common property.

**Acceptance Criteria:** The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

**Special Requirements:** It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

### Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. **The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection.** Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor.

This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

### Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as *"areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."* Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

**Roof Interior** - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

**Roof Exterior** - Must be accessible from a 3.6m ladder placed on the ground.

## Property Description:

<b>Building type:</b>	Single storey dwelling.
<b>External walls constructed from:</b>	Timber frame: Polystyrene rendered.
<b>Roof Construction:</b>	The roof is of pitched construction.
<b>Roof Covering:</b>	Corrugated steel. Colorbond.
<b>Internal walls covered with:</b>	Fibre cement sheeting.
<b>Internal ceilings covered with:</b>	Plasterboard sheeting.
<b>Windows are constructed from:</b>	Aluminium.

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**Footings:**

The building is constructed on concrete slab footings.

**Estimate Building Age:**

The building appears to be less than 10 years old.

The purchaser should check with the local council to ensure that the builder was licensed and has obtained all statutory insurances and that the council as approved and inspected the construction of the building.

As a general rule, If the building was completed after 1st July 2002, the Home Warranty Insurance is for six (6) years for structural problems and two (2) years for non structural items.

These periods are from the date of completion.

Prior to 1st July 2002 and from 1st May 1997 the cover was for seven (7) years for both structural and general matters.

(Please note: The period of time may vary from state to state).

We strongly advise that you make independent enquiries to accurately determine the exact age of the building and the provision of any warranties that may be applicable.

Nothing contained in this report should be taken as an indicator that the property is covered under a builders warranty.

## Overall Condition of Property

**Major Defects in this Building:**

The incidence of major defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

**Low-Typical:** The frequency and/or magnitude of major defects are lower than the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

**Minor Defects in this Building:**

The incidence of minor defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

**Low-Typical:** The frequency and/or magnitude of minor defects are consistent with the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

**Overall Condition/Brief Summary**

A comparison of this and other dwellings of similar age, construction and level of maintenance would rate this building as **average**.

**The building appears to be generally sound, constructed and maintained to an acceptable standard.**

**Drainage at the site will require further improvement for water dispersal.**

**There are areas/elements requiring minor repairs, adjustments or maintenance due to the age of construction, general wear & tear, and exposure to environmental conditions.**

**Property maintenance is recommended to eliminate any further deterioration.**

**PLEASE READ THE ENTIRE REPORT FOR FURTHER INFORMATION.**

***Important Note: The building rating noted above is only a generalisation taking into account numerous factors and should be read in conjunction with the notable items and main report.***

***Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of importance.***

***Any external timber structure must be observed for any deterioration and inspected by an Engineer or suitably qualified person to assess the condition and structural stability every 12 months.***

***External Timber Structure means: timber decks, verandahs, balconies, handrails, stairs, retaining walls, play equipment, fences, garages, carports, sheds, gazebos or outbuildings.***

***Note: If people are likely to use an External Timber Structure, care must be taken not to overload the External Timber Structure.***

**Important Note: This is only a general overview of the property and MUST not be relied upon on its own.**



**PLEASE READ THE ENTIRE REPORT FOR FURTHER INFORMATION.**

The purpose of this inspection is to provide advice to the Client regarding the overall condition of the property at the time of the inspection. The inspection is a visual assessment only of the property to identify major defects and to form an opinion regarding the condition of the property at the time of inspection.

Any Summary within this Report regardless of its placement in the Report is supplied to allow a quick overview of the inspection results. These Summary items are NOT the Report and cannot be relied upon on their own. Any Summary MUST be read in conjunction with the entire Report and not in isolation from the Report. If there should be any discrepancy between anything in the Report and anything in a Summary, the information in the Report shall override that of the Summary. In any event, should any aspect of this report not be fully understood, you should contact the Inspector BEFORE relying on this Report.

**Summary of Areas Inspected:**

**Details:**

Roof void.  
Internal area.  
External area.  
Site.

**Note:** The areas listed above are a broad indication of the areas inspected. Within these areas, some further restrictions may have been present restricting or preventing our inspection. If any recommendation has been made within this report to gain access to areas, gain further access to areas, or any area has been noted as being at "High Risk" due to limited access, then further access must be gained. We strongly recommend that such access be gained prior to purchase to enable a more complete report to be submitted.

**Should there be any areas or elements listed below which were not fully inspected due to access limitations or impairment at the time of inspection, or where recommendations for further access to be gained was made, these areas or elements should be accessed and inspected prior to a decision to purchase being made.**

**Furnished Properties:**

**Was the property furnished at the time of inspection?**

House was Professionally Styled at time of inspection - Where a property was furnished (fully or partly) at the time of the inspection then you must understand that the furnishings and stored goods may be concealing evidence defects (from minor defects to potentially significant defects). This evidence may only be revealed when the property is vacated. A further inspection of the vacant property is strongly recommended in this case.

**Weather Conditions:**

**Recent Weather Conditions:**

Dry and wet periods.

**Weather Conditions on the Day and at the Time of Inspection:**

Dry.

**ROOF SYSTEM EXTERNAL**

The following is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to make observations during prolonged rainfall. If any sections of the roof were inaccessible due to the method of construction or other factor, further investigations should be carried out prior to purchase.

**External Roof:**

**Roof Style:**

The roof is of pitched construction.

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**Roof Access Limitations:**

Access has been gained to all the roof area.

**Roof Covering Condition in Detail:**

The overall condition of the roof coverings appear good.

## Flashings:

**Roof Flashing - Type and Condition:**

Flashing material is: Sheet metal.  
Flashings appear to be in serviceable condition at the time of inspection to visible and accessible areas.  
It should be noted that flashings are only viewed from a distance in some areas and sometimes defects are very small and not clearly visible.  
Monitoring of flashings is required.

Regular inspections by a qualified contractor required to back vent / gable/ skylight/ range hood and or chimney flashings.

## Gutters & Downpipes:

**Gutters & Downpipes:**

Appear to be in serviceable condition at the time of inspection.  
Regular inspections by a qualified roofing plumber required to maintain the serviceability.

Downpipes appear to be connected to the stormwater dispersal system.  
The efficiency of the storm water lines have not been inspected.

Gutter Guard present, some repairs are recommended.

## Valleys:

**Condition:**

The overall condition of the valley metal appears good to visible and accessible areas.

Gutter Guard restricted full visual inspection of the valley material, defects may be present and not detected.

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### Eaves, Fascias & Barge Boards:

**Eaves Type & Condition:**

The eaves are lined with fibre cement sheeting.  
The overall condition of the eaves lining is good.

**Fascias & Bargeboards Type & Condition:**

The metal fascia are generally in good condition.

## ROOF SYSTEM INTERNAL

### Restrictions - Roof Interior:

**Cavity Present/Not Accessible:**

Access has been gained to some of the roof cavity within visible and accessible areas.

**Access Restrictions:**

Inspection over the eaves was restricted due to the low pitch and construction allowing only a limited visual inspection.

Clearance within some sections of the roof was too low to allow full body access. This allows only a limited visual inspection from a distance to be carried out. Items such as top plates, ceiling joists and roof framing in the areas listed below were not able to be fully inspected.

**Location/area**

Various areas.

**Inspection Restrictions:**

Sarking membrane and insulation is present in the roof cavity. This restricted inspection to some roofing timbers. Removal of insulation is not within the scope of a standard visual building inspection report.

Ducting associated with air conditioning or heating restricted inspection.



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## Roof Framing:

### Roof Supports - Type and Condition:

The truss roof system appears adequate for the roof covering.  
It is outside the inspectors scope to determine the engineering suitability and or truss design for roof loads and spans.

Species Type: Treated Radiata Pine Construction.



## Insulation & Sarking:

### Insulation Status:

Insulation batts have been installed to ceiling void.  
Removal of insulation is not within the scope of a standard visual timber pest inspection report however, this would be necessary for a more complete report to be submitted.

The overall condition of the insulation is good.

### Sarking Status:

Sarking blanket is visible to roof cavity under roof iron.

### Timber Pest Attack - Evidence Noted:

**Description:**

No Timber Pest activity was detected to visible and accessible timbers at the time of the inspection.

No opinion is offered to other areas where full access is not possible.

### Wood decay damage:

**Description:**

No visible signs of wood decay to visible and accessible areas.

## INTERIOR CONDITION REPORT

### Ceilings:

**Ceiling Condition:**

The condition of the ceilings are generally good for age of construction.

### Walls:

**Internal Walls Condition:**

The condition of the walls are generally good for age of construction.

The condition to some of the walls are unknown due to professional furniture. Furniture restricted inspection in places.

These may be concealing evidence of defects (from minor defects to potentially significant defects).

### Windows:

**Windows Condition:**

The condition of the windows are generally good for age of construction.

The condition of the window hardware is generally good for age of construction.

Security Locks Fitted.

### Doors:

**Doors Condition:**

The condition of the doors are generally good for age of construction.

The condition of the door hardware is in generally good operational condition.

### Floors:

**Floors General Condition:**

The condition of the floors are generally good for age of construction.

Sections of the floors are concealed by carpets, rugs or other floor coverings, which has restricted inspection.

No inspection was made to the upper side of flooring where floor coverings and furnishings were present.

Refer to subfloor if applicable.

**Cracking to Masonry or Concrete**

**Elements:**

Minor slab cracks are evident, this is considered normal movement for age of construction.

Monitoring for increase of size is recommended.

## Woodwork:

### Woodwork

The condition of the woodwork is generally good for age of construction.

## Built-In Wardrobes

### Type and Condition

The condition of the built-in wardrobes is generally good.  
Some bedroom wardrobe doors are mirrored/ glass sliding style.

### Location/area

Wardrobe cupboards built into: Master Bedroom, Bedroom Two.

## KITCHEN

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

## Kitchen:

### Kitchen Fixtures:

The condition of the bench top is generally good for age.  
The condition of the doors, carcass, kicks is generally good for age.

### Tiles:

The condition of the splash tiles are generally good for age.

### Sink & Taps:

The sink and taps appear to be in a serviceable condition.  
The drain appears serviceable.



## BATHROOMS

**Important Notes:** Shower areas (where present) are visually checked for leakage, but leaks often do not show except when the shower is in actual long term use. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future.

In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

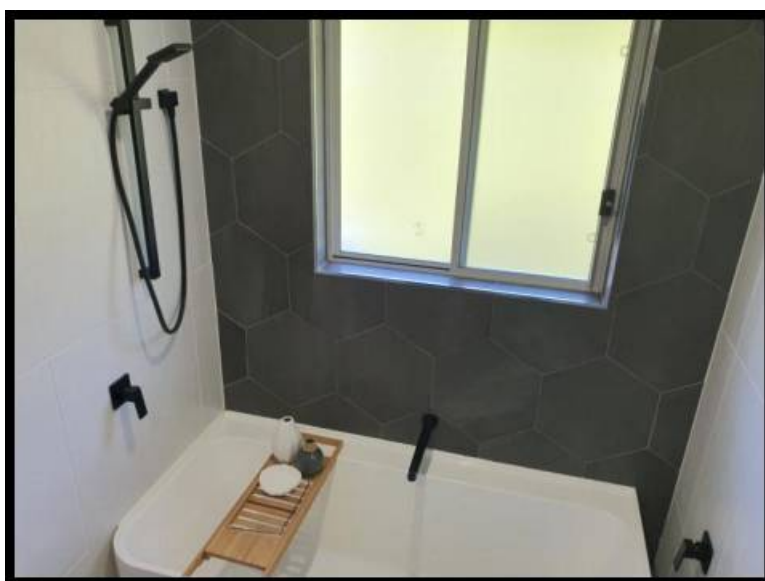
## Main Bathroom:

### Shower/Bath Condition:

The bathroom appears to be part of recent Construction.  
The type and condition of the waterproofing membrane is unknown.  
It should be confirmed that the bathroom renovation was carried out by licensed trades people.  
Copies of waterproofing guarantees for all wet areas should be obtained for viewing prior to purchase.

Due to the property being currently vacant at time of inspection the bathrooms may have not been used for a length of time.  
It is not possible for the inspector to determine if the shower recess is leaking at the time of this inspection.

The shower located over bath is in good condition.  
Drain appears serviceable.



### Tiles:

The condition of the tiles is generally good for age.

### Basin & Taps:

The basin/ taps and drain appear serviceable.



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**Vanity Unit:**

The condition of the vanity unit is generally good for age.

**Toilet Condition:**

The toilet appears to be in working order.

**Woodwork:**

The condition of the woodwork is generally good for age.

**Floor/Floor Waste:**

The floor waste point was not able to be tested during this visual inspection. Defects or blockages may be present and not detected.

**Ventilation:**

Mechanical extraction fan has been installed.

## Ensuite Bathroom:

**Shower/Bath Condition:**

The bathroom appears to be part of recent Construction.  
The type and condition of the waterproofing membrane is unknown.  
It should be confirmed that the bathroom renovation was carried out by licensed trades people.  
Copies of waterproofing guarantees for all wet areas should be obtained for viewing prior to purchase.

Due to the property being currently vacant at time of inspection the bathrooms may have not been used for a length of time.  
It is not possible for the inspector to determine if the shower recess is leaking at the time of this inspection.

The shower recess was tested and there was no visible water penetration to surrounding areas.  
**IMPORTANT NOTE:** This test may not reveal water leaks until the shower is put into constant use and surrounding areas monitored over a period of time.  
Drain appears serviceable.

**Tiles:**

The condition of the tiles is generally good for age.

Note: Water ponding or slower drainage may occur in some shower recesses due to the size and fall of the tiles.  
The inspector cannot determine if this will occur until showers are put into constant use.  
If necessary refer to a floor tiler for rectification.

Shower screens that sit directly on the tiles are at risk of leaks.  
The area will need to be kept well sealed to prevent water penetration to surrounding areas.





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**Basin & Taps:**

The basin/ taps and drain appear serviceable.



**Vanity Unit:**

The condition of the vanity unit is generally good for age.

**Toilet Condition:**

The toilet appears to be in working order.

**Woodwork:**

The condition of the woodwork is generally good for age.

**Floor/Floor Waste:**

The floor waste point was not able to be tested during this visual inspection. Defects or blockages may be present and not detected.

**Ventilation:**

Mechanical extraction fan has been installed.

## LAUNDRY

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

### Laundry:

**General condition of area:**

This area is generally in good condition for age of construction.

**Tub & Taps:**

The metal tub/ taps and drain appear serviceable.

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**Plumbing Points:**

Hot and Cold Washing Machine points provided.

**Floor/Floor Waste:**

The floor waste point was not able to be tested during this visual inspection. Defects or blockages may be present and not detected.

**Tiles:**

The condition of the splash tiles are generally good for age.

**Woodwork:**

The condition of the woodwork is generally good for age.

## EXTERIOR

**External Walls:**

**General Condition:**

The condition of the walls are generally good for age of construction. Polystyrene rendered.

Decking against external walls restricted inspection, monitoring for adequate drainage/ventilation or concealed termite access will be required.

**Lintels:**

**Type & Condition:**

The Lintels are not visible and their condition is unknown.

**Windows:**

**Windows Condition:**

The condition of the exterior aluminium windows is generally good.

**Doors:**

The condition of the exterior doors are generally good.

**Damp Course:**

**Type & Condition:**

Concealed Damp Proof Course due to method of construction.

## DECKS, PERGOLAS, BALCONIES, VERANDAHS, AWNINGS

Where any elevated structure (deck, balcony, verandah etc) is present, and this elevated structure is designed to accommodate people, you **MUST** have this structure checked by an engineer or other suitably qualified person.

You should arrange annual inspections of the structure by an engineer or other suitably qualified person to ensure any maintenance that may become necessary is identified. Care must be taken not to over load the structure.

Nothing contained in this inspection should be taken as an indicator that we have assessed any elevated structure as suitable for any specific number of people or purpose. This can only be done by a qualified engineer.

For the purpose of this report, the Structure includes elevated decks, verandahs, pergolas, balconies, handrails, stairs and children's play areas.

Where any structural component of such a Structure is concealed by lining materials or other obstructions, these linings or obstructions must be removed to enable an evaluation to be carried out by an appropriately qualified person.

### Verandah:

**Position/Location:**

Front elevation.



**Construction & Condition:**

The general condition of this structure is good for the age of construction. Constructed primarily from Timber.

**Roof Construction:**

The roof is of pitched construction.

**Roof is covered with:**

Corrugated steel.  
Colorbond sheeting.

**Roof Covering Condition Detail:**

The overall condition of the roof coverings is generally good for the age of construction.  
Gutters and downpipes fitted.

**Defects or Maintenance Items:**

No body access was possible below the structure due to the method of construction, and cannot be reported on.

**Timber Pest Attack - Evidence**  
Noted:

No visible evidence of pest attack.  
Please refer to pest inspection for details.

## FOOTINGS

### Footings:

**Type & General Condition:**

The building is constructed on a concrete raft slab.  
The footings appear to be generally sound.

## SITE

### Driveway:

**Type & Condition:**

The gravel driveway stands in fair condition.

### Fences & Gates:

**Fences Type & Condition:**

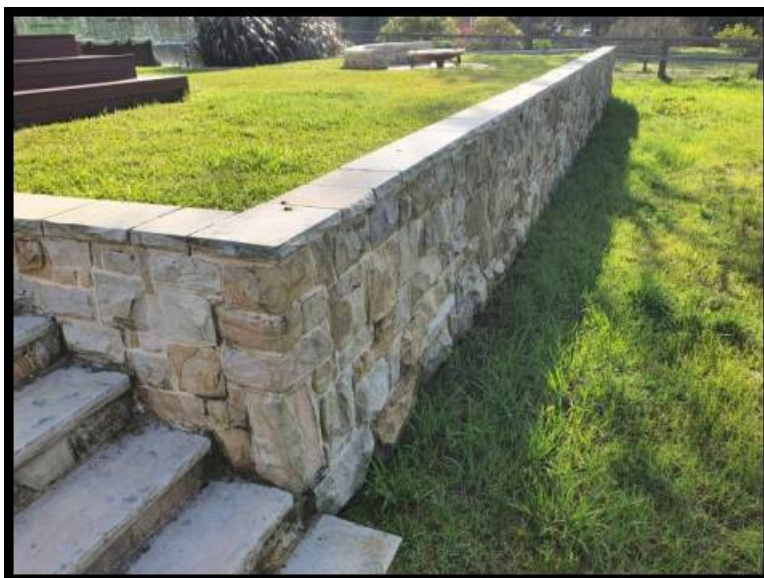
Rural fences have not been fully inspected and may have areas of decay or termite, we recommend further assessment prior to purchase.

### Retaining Walls:

**Type & General Condition:**

The retaining walls of blockwork construction are generally in good condition.

Any external retaining walls should be observed for any deterioration or subsidence, and inspected by a suitably qualified person to assess the condition and structural stability every 12 months.



### Swimming Pool:

**Swimming Pool:**

A swimming pool is present.  
This inspection specifically excludes any inspection of the pool, associated pool equipment and pool surrounds.  
An inspection should be made by a specialist pool inspector to determine the condition of the pool, pool equipment and surrounds.

A valid Certificate of Compliance or Non Compliance or Registration of the pool is required from the vendor prior to purchase of the property.

Pool gate appears in operational condition at time of inspection.  
Pool gates require regular adjustment and checking to ensure optimum operational safety.



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The timber decking to areas surrounding the swimming pool is in good condition.

Crawl space below the deck was limited due to the low method of construction resulting in a limited visual inspection from a distance being carried out.

It is possible that building defects may be present below inaccessible areas however, no comment is made or opinion offered on any area where full access is not available.



## Drainage - Surface Water:

### Description:

The drainage at the front of the property appears inadequate. As a result, evidence suggests that surface water has been ponding.

Poor site drainage can create unstable foundations that may have an adverse structural effect over time.

Drains should be installed to divert seepage and surface runoff water away from the house.

The drains should be connected to the existing stormwater drainage system.

Refer to a Licensed Landscaper/Drainer for further assessment and rectification.

The general adequacy of site drainage is not included in the Standard Property Inspection Report.

Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate.

Any comments made in this section are relevant only in light conditions present at the time of inspection.

The efficiency of the storm water lines have not been inspected.



The general adequacy of site drainage is not included in the Standard Property Inspection Report. Comments on surface



water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection. It is recommended that a Smoke Test be obtained to determine any illegal connections, blocked or broken drains.

## SERVICES

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

### Services:

**Details:**

**It is recommended that the following inspections are conducted prior to purchase:**

- All electrical wiring, meter boxes and appliances should be checked by a qualified electrician for further advice.
- All plumbing, hot water services and gas should be inspected by a licensed plumber/gas fitter for further advice.
- All phone, phone lines and outlets should be inspected by a telecommunications technician for further advice.
- Drainage Inspection and Smoke Test.
- Council Plan Inspection.

The purchaser should check the working condition of all appliances/ fans/ lighting prior to settlement, as they have not been checked and do not form part of a standard pre purchase inspection report.

Bottled gas is connected to the premises but has not been inspected.  
Refer to a licensed Gas Fitter/Plumber for further assessment.

Smoke detectors are fitted however the positioning, operation or adequacy was not tested and is not commented on.

Smoke detectors are required to all buildings where people sleep.

It is recommended that an electrician be consulted to give advice on those installed or to install these detectors.

Air-conditioning is installed in the premises but has not been inspected.  
Refer to licensed Air-conditioning contractor.

Water tank as main water supply.

Envirocycle tank system is present.

The operation or adequacy of this system has not been assessed and further advice should be obtained from a suitably qualified contractor.

### Water Lines & Pressure:

**Details:**

The visible water lines are in copper pipe.

Water pressure appears to be normal, however, this is not an opinion of a licensed plumber.

### Hot Water Service:

Hot water is provided by the following:

Gas hot water system.  
Located externally.

The hot water system appears to be in working condition.

No specific tests other than running the hot water from a tap was carried out.

No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise.

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Age of Unit:

We were unable to determine the age of the unit.

## Important Information

### Important Information:

The following forms an integral part of the report and MUST be read in conjunction with the entire report.

#### General Definitions used in this report:

The Definitions of the Terms (Good), (Fair), & (Poor) below apply to defects associated with individual items or specific areas:

**Good** - The item or area inspected appears to be in Serviceable and/or Sound Condition without any significant visible defects at the time of inspection.

**Fair** - The item or area inspected exhibits some minor defects, minor damage or wear and tear may require some repairs of maintenance.

**Poor** - The item or area inspected requires significant repairs or replacement and may be in a badly neglected state due to age or lack of maintenance or deterioration or not finished to an acceptable standard of workmanship.

The Definitions (Above Average), (Average), (Below Average) relate to the inspectors opinion of the Overall Condition of the Building:

**Above Average** - The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.

**Average** - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**Below Average** - The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

**Appearance Defect** - Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Serviceability Defect** - Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Structural Defect** - Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Accessible Area** - An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

Other Definitions

**Major Defect** - Is a defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

**Minor Defect** - Any defect other than what is described as a major defect.

#### **General and Important Information:**

*Note:* In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

**Shower Recesses:** Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

**Glass Caution:** Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

**Stairs & Balustrades:** Specifications have been laid down by the Australian Building Code - Section 3.9 covering stairs, landings and balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

**Rooms below ground level:** If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make their own enquiries with the Council to ascertain if approval was given.

**Trees:** Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

**The septic tanks:** Should be inspected by a licensed plumber.

**Swimming Pools:** Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

**Surface Water Drainage:** The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

#### **Important Information Regarding the Scope and Limitations of the Inspection and this Report**

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

- 1) This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.
- 2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant. Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of a special-Purpose Property Report.**)

4) **CONSUMER COMPLAINTS PROCEDURE.** In the event of any dispute or claim arising out of, or relating to the inspection or the Report, You must notify Us as soon as possible of the dispute or claim by email, fax or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If you are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The Institute of Arbitration of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner:

- (a) The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and
- (b) The arbitration will be held within twenty one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs.

The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

5) **ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.** If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples health. You should seek advice from a qualified asbestos removal expert."

6) **Mould (Mildew and Non-Wood Decay Fungi) Disclaimer:** Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

7) **Magnesite Flooring Disclaimer:** No Inspection for Magnesite Flooring was carried out at the property



and no report on the presence or absence of Magnesite Flooring is provided. You should ask the owner whether Magnesite Flooring in present and/or seek advice from a Structural Engineer.

**8) Estimating Disclaimer:** Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

**9) Cracking of Building Elements:** The use of cracking of building elements as an indicator of structural performance can be problematic. Where any cracking is present in a building element, that cracking may be the result of one or more of a range of factors and that the significance of cracking may vary.

Cracking can be generally categorized into:

**Appearance Defect:** Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Serviceability Defect:** Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Structural Defect:** Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**If cracks have been identified, then A Structural Engineer is required to determine the significance of the cracking prior to a decision to purchase or settlement.**

Regardless of the appearance of the cracks a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks.

Obtaining Information regarding:

- (a) The nature of the foundation material on which the building is resting,
- (b) The design of the footings,
- (c) The site landscape,
- (d) The history of the crack and
- (e) Carrying out an invasive inspection

all fall outside the scope of this Pre purchase inspection. However the information obtained from the five items above are valuable, in determining the expected consequences of the cracking and any remedial work needed. Cracks that are small in width and length on the day of the inspection **may** have the potential to develop over time into Structural Problems for the Home Owner resulting in major expensive rectification work been carried out.

**10) CONDITIONS :-** This standard property report is conditional upon or conditional in relation to -

- the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
- information provided by the person, the employees or agents of the person requesting the report;
- the specific areas of expertise of the consultant specified in the report;
- apparent concealment of possible defects; or
- any other factor limiting the preparation of the report.

**11)** If the property to be inspected is occupied then You must be aware that furnishings or household items may be concealing evidence of problems, which may only be revealed when the items are moved or removed.

Where the Report says the property is occupied You agree to:

- a) Obtain a statement from the owner as to
  - i. any Timber Pest activity or damage;
  - ii. timber repairs or other repairs
  - iii. alterations or other problems to the property known to them
  - iv. any other work carried out to the property including Timber Pest treatments
  - v. obtain copies of any paperwork issued and the details of all work carried out

b) Indemnify the Inspector from any loss incurred by You relating to the items listed in clause a) above where no such statement is obtained.

**12)** The Inspection Will not cover or report the items listed in Appendix D to AS4349.1-2007





Inspection: 592B Address: 308 Matcham Road

**13)** You agree that We cannot accept any liability for Our failure to report a defect that was concealed by the owner of the building being inspected and You agree to indemnify Us for any failure to find such concealed defects

**14)** Where Our report recommends another type of inspection including an invasive inspection and report then You should have such an inspection carried out prior to the exchange of contracts or end of cooling-off period. If You fail to follow Our recommendations then You agree and accept that You may suffer a financial loss and indemnify Us against all losses that You incur resulting from Your failure to act on Our advice.

**15)** The Report may not be sold or provided to any other Person without Our express written permission, unless the Client is authorised to do so by Legislation. If We give our permission it may be subject to conditions such as payment of a further fee by the other Person and agreement from the other Person to comply with this clause.

However, We may sell the Report to any other Person although there is no obligation for Us to do so.

**16)** You indemnify Us in respect of any and all liability, including all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of any nature, which may be incurred by, brought, made or recovered against Us arising directly or indirectly from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.

### **IMPORTANT DISCLAIMER**

**DISCLAIMER OF LIABILITY:** -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

**DISCLAIMER OF LIABILITY TO THIRD PARTIES:** - Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the report subject to the terms and conditions of this agreement and the Report itself.

**Note:** In the ACT under the Civil Law (Sale of Residential Property) Act 2003 and Regulations the report resulting from this inspection may be passed to the purchaser as part of the sale process providing it is carried out no more than three months prior to listing and  
is not more than six months old.

### **CONTACT THE INSPECTOR**

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

..... End Of Report .....

### **Signature:**

Bell4 Trading Trust  
License: 116153C  
ABN: 50 899 258 556

ANTHONY WELCH.