

## GENERAL NOTES

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY.

BUILDERS & SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS, OR ORDERING MATERIALS & SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE CURRENT BUILDING CODE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS & TOWN PLANNING REQUIREMENTS.

REPORT ANY DISCREPANCIES TO THIS OFFICE.

ALL WORKS SHALL COMPLY WITH, BUT NOT BE LIMITED TO THE BUILDING CODE OF AUSTRALIA & THE AUSTRALIAN STANDARDS:

AS 1288 - 2006 GLASS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 1562 - 1992 DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING

AS 1684 - 2010 NATIONAL TIMBER FRAMING CODE

AS 2049 - 2002 ROOF TILES

AS 2050 - 2002 INSTALLATION OF ROOF TILES

AS 2870 - 2011 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION

AS/NZS 2904 - 1995 DAMP-PROOF COURSES & FLASHINGS

AS 3600 - 2009 CONCRETE STRUCTURES

AS 3660 - 2012 BARRIERS FOR SUBTERRANEAN TERMITES

AS 3700 - 2011 MASONRY IN BUILDINGS

AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

AS 3786 - 1993/2014 SMOKE ALARMS

AS 4055 - 2012 WIND LOADINGS FOR HOUSING

AS 4100 - 1998 STEEL STRUCTURES

AS 4654 - WATERPROOF MEMBRANES FOR FOR EXTERNAL ABOVE GROUND USE

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL & CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.

SOIL CLASSIFICATION - REFER TO STRUCTURAL ENGINEERS SOIL TEST.

ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1. ALL STRUCTURAL ELEMENTS AS DEFINED BY THE BUILDING CODE OF AUSTRALIA TO BE OF TERMITE RESISTING CONSTRUCTION. A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER & REQUIRED PERIODICAL INSPECTIONS.

SAFETY GLAZING TO BE USED IN THE FOLLOWINGS CASES -

- i) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR
- ii) BATHROOMS - WITHIN 1500mm VERTICAL OF THE BATH BASE
- iii) FULLY GLAZED DOORS
- iv) SHOWER SCREENS
- v) WITHIN 300mm OF A DOOR & <1200mm ABOVE FLOOR LEVEL
- vi) WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITH MANUFACTURER, FLASHING ALL ROUND.

STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT AUTHORITY.

TILED DECKS OVER HABITABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER WHEN OVER FLOOR JOISTS - 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DFT OF 1300 MICRON, INSTALLED TO MANUF. SPECIFICATIONS, & FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750.

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENSED SURVEYOR.

ALL STEELWORK IN MASONRY TO BE HOT DIP GALVANISED.

ALL WET AREAS TO COMPLY WITH BCA 3.8.1.2 AND AS 3740. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TUB & VANITY BASINS WITHIN 75mm OF THE WALL.

PROVIDE WALL TIES AT 600mm SPACINGS BOTH VERTICAL & HORIZONTAL, AS WELL AS WITHIN 300mm OF ARTICULATION JOINTS. BRICK TIES TO BE STAINLESS STEEL.

SUB-FLOOR VENTILATION MINIMUM 7500mm sq FOR EXTERNAL WALLS & 1500mm sq FOR INTERNAL WALLS BELOW BEARER. IN ACCORDANCE WITH B.C.A. 3.4.1

THERMAL INSULATION; R2.5 BATTS TO CEILING & R1.5 BATTS & REFLECTIVE FOIL TO EXTERNAL WALLS OR AS PER ENERGY RATING.

STAIR REQUIREMENTS : MIN. TREAD 240mm, MIN. RISER 115mm, MAX. RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON SLIP SURFACE.

BALUSTRADES : MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm AND IN ACCORDANCE WITH BCA 3.9.2 .

FOR STAINLESS STEEL BALUSTRADE, REFER TO Table 3.9.2.1 (WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION & MAXIMUM PERMISSIBLE DEFLECTION) OF THE BCA.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGH-OUT CONSTRUCTION.

☉ DENOTES LOCATION OF SMOKE ALARMS, TO BE HARD WIRED WITH EMERGENCY BACK-UP & COMPLY WITH AS 3786.

WIND SPEED AS NOMINATED ON BRACING PLAN.

PROVIDE LIFT OFF HINGES TO W.C OR OPEN OUT DOOR OR MIN 1200mm CLEARANCE FROM DOOR TO PAN.

EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED TO THE OUTSIDE AIR OR TO A VENTED ROOF SPACE & AS PER AS 1668.2

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS.

ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COASTAL OR INDUSTRIAL ENVIRONMENTS, IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

## SITE NOTES

ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2 & 3.5.2 AS WELL AS AS/NZS 3500.

ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS & RETAINING WALLS & ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS TO THE RBS REQUIREMENTS.

THE EXTERNAL FINISHED SURFACE SURROUNDING THE BUILDING MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING & GRADE TO PROVIDE A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

THE HEIGHT OF THE OVERFLOW RELIEF GULLY RELATIVE TO DRAINAGE FITTINGS & GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 90mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80, DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

2 DOWNPIPES MAX. TO EACH 90mm STORMWATER PIPE, SUBSURFACE PIPES TO BE 100mm DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END, IT IS TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.

ALL POOL FENCING SHALL BE MIN. 1200mm HIGH AND INACCORDANCE WITH AS 1926.1

## JAYSON PATE DESIGN

GOLD COAST & MELBOURNE

ABN/ 72 872 042 374 phone/ +61 422 848 474 gold coast mail/ P.O. Box 5049 GC Mail Centre, Bundall, QLD 9726 melbourne mail/ P.O. Box 369 Bay Street, Port Melbourne, VIC 3207 email/ info@jaysonpatedesign.com.au web/ www.jaysonpatedesign.com.au

BSA lic/ 1213109 fax/ +61 7 5592 6028

PROJECT TITLE

**27 ORIENT STREET,  
KINGSCLIFF  
LOT 13 on DP 7309**

DRAWING TITLE

**IMPORTANT NOTES**

REVISIONS

NOTES

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DRAWN

JP

ISSUE

CONSTRUCTION

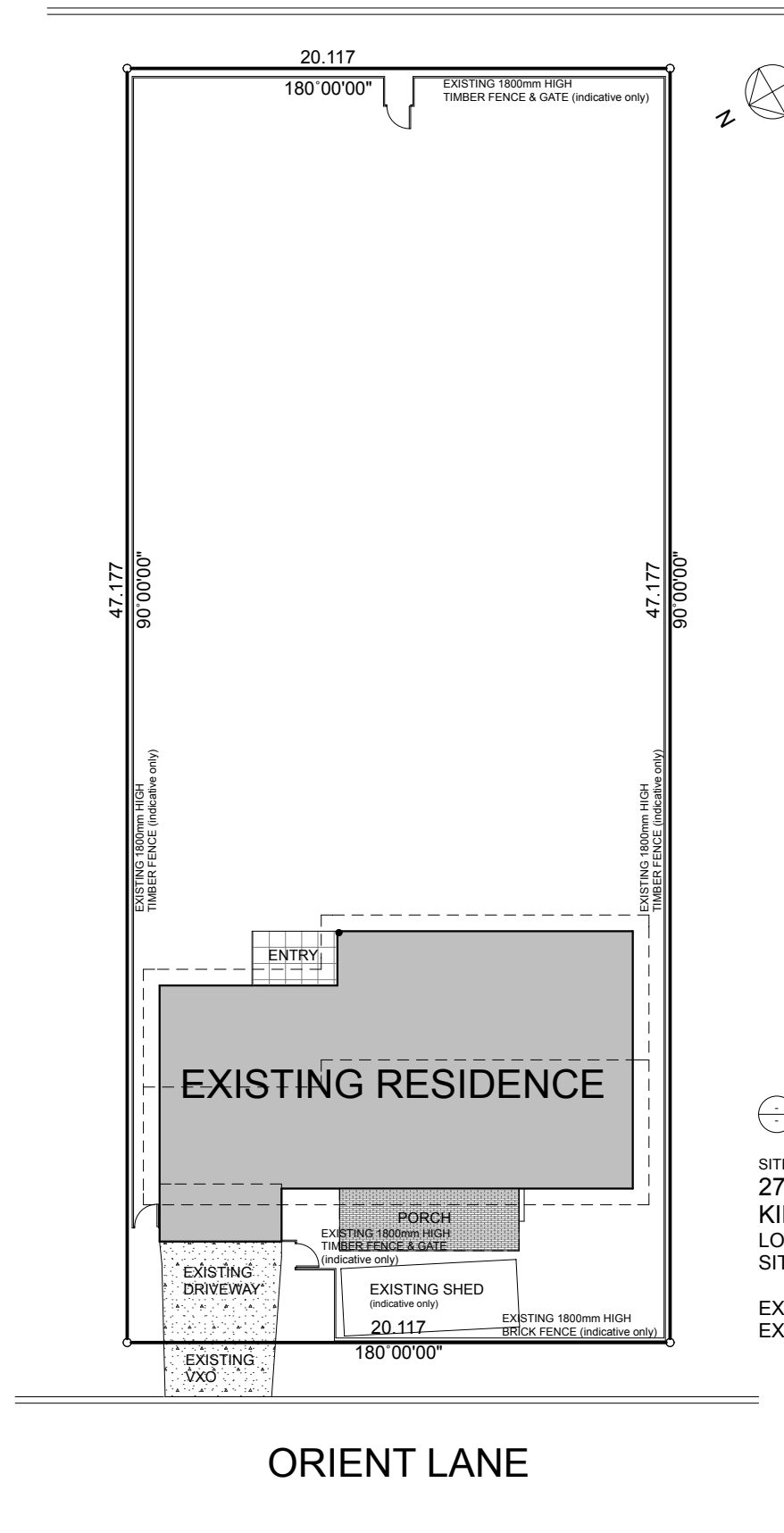
PROJECT NUMBER

**8418**

DRAWING NUMBER

**WD 1.1 B**

# ORIENT STREET



SITE PLAN  
EXISTING

SITE DESCRIPTION:  
27 ORIENT STREET,  
KINGSCLIFF  
LOT 13 on RP7309  
SITE AREA = 746.10m<sup>2</sup>

EXISTING RESIDENCE = 184.4m<sup>2</sup>  
EXISTING SITE COVER = 23.5%

## JAYSON PATE DESIGN

GOLD COAST & MELBOURNE

ABN/ 72 872 042 374  
phone/ +61 422 848 474  
gold coast mail/ P.O. Box 5049 GC Mail Centre, Bundall, QLD 9726  
melbourne mail/ P.O. Box 369 Bay Street, Port Melbourne, VIC 3207  
email/ info@jaysonpatedesign.com.au web/ www.jaysonpatedesign.com.au

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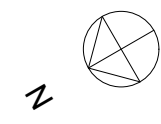
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**EXISTING SITE PLAN**

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PROJECT NUMBER <b>8418</b>	DRAWING NUMBER <b>WD 1.2 B</b>



- GROUND FLOOR PLAN  
- EXISTING

EXISTING FLOOR AREAS	
ENTRY AREA	6.36
GROUND FLOOR AREA	162.72
PORCH AREA	15.30
	184.38 m <sup>2</sup>

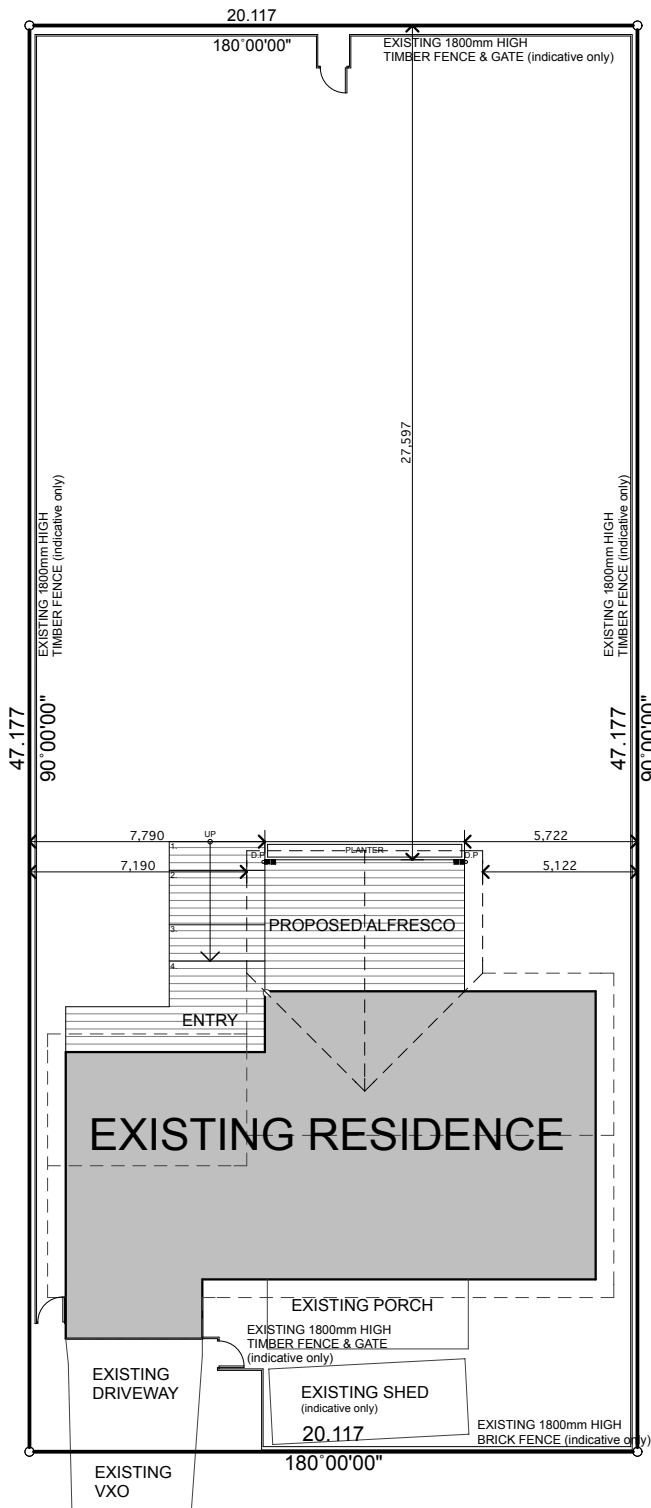
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PROJECT TITLE: **27 ORIENT STREET, KINGSCLIFF LOT 13 on DP 7309**  
 DRAWING TITLE: **EXISTING FLOOR PLAN**  
 REVISIONS:

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 DRAWN: JP  
 ISSUE: CONSTRUCTION  
 PROJECT NUMBER: **8418**  
 DRAWING NUMBER: **WD 1.3 B**

# ORIENT STREET



SITE PLAN  
PROPOSED

SITE DESCRIPTION:  
27 ORIENT STREET,  
KINGSCLIFF  
LOT 13 on RP7309  
SITE AREA = 746.10m<sup>2</sup>

PROPOSED RESIDENCE = 238.1m<sup>2</sup>  
PROPOSED SITE COVER = 31.9%

NOTE: PROPOSED  
DOWNPIPES TO CONNECT  
TO EXISTING  
STORMWATER LINE

# ORIENT LANE

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GOLD COAST & MELBOURNE

ABN/ 72 872 042 374  
phone/ +61 422 848 474  
gold coast mail/ P.O. Box 5049 GC Mail Centre, Bundall, QLD 9726  
melbourne mail/ P.O. Box 369 Bay Street, Port Melbourne, VIC 3207  
email/ info@jaysonpatedesign.com.au web/ www.jaysonpatedesign.com.au

BSA lic/ 1213109  
fax/ +61 7 5592 6028

PROJECT TITLE

**27 ORIENT STREET,  
KINGSCLIFF  
LOT 13 on DP 7309**

DRAWING TITLE

**PROPOSED SITE PLAN**

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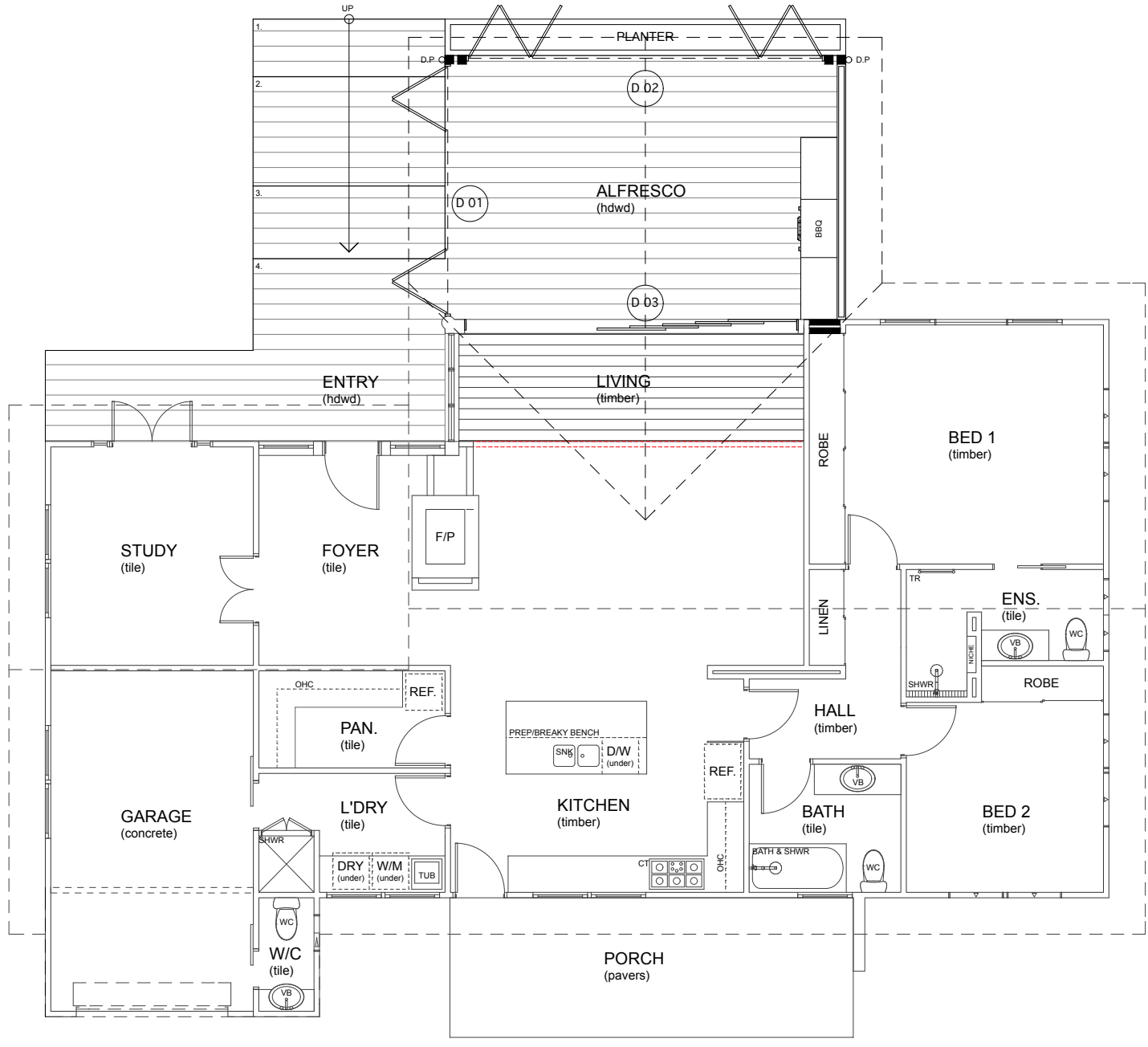
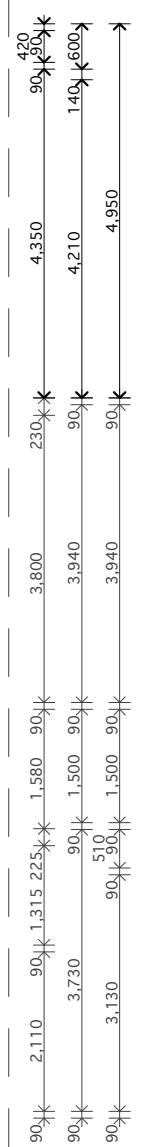
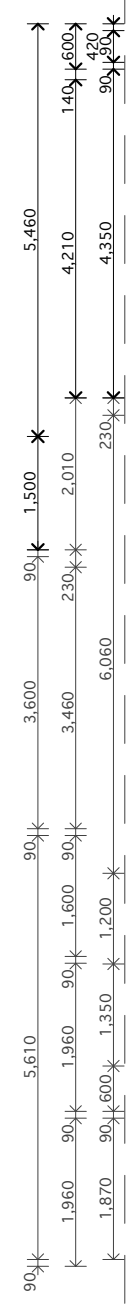
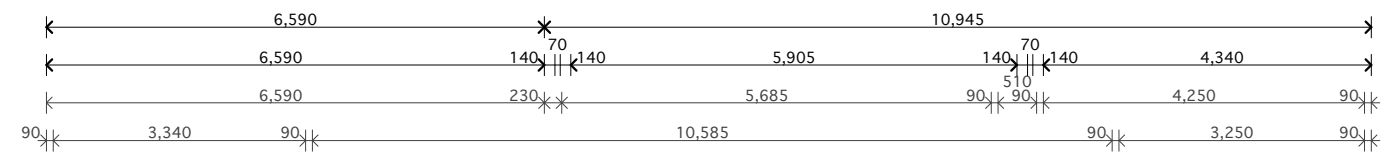
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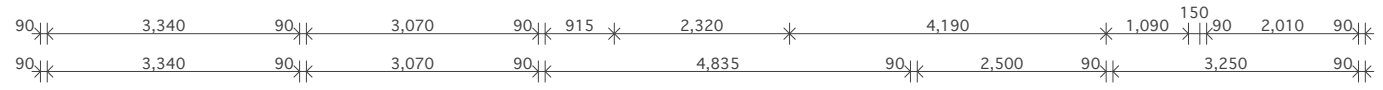
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PROPOSED FLOOR AREAS	
EXISTING GROUND FLOOR AREA	162.72
EXISTING PORCH AREA	15.52
PROPOSED ALFRESCO AREA	32.69
PROPOSED ENTRY AREA	27.17
	238.10 m <sup>2</sup>

- LEGEND**
- EXISTING WALLS
  - DEMOLITION WALLS
  - PROPOSED WALLS



**GROUND FLOOR PLAN**  
PROPOSED

**JAYSON PATE DESIGN**  
GOLD COAST & MELBOURNE

ABN/ 72 872 042 374 phone/ +61 422 848 474 gold coast mail/ P.O. Box 5049 GC Mail Centre, Bundall, QLD 9726 melbourne mail/ P.O. Box 369 Bay Street, Port Melbourne, VIC 3207 email/ info@jaysonpatedesign.com.au web/ www.jaysonpatedesign.com.au

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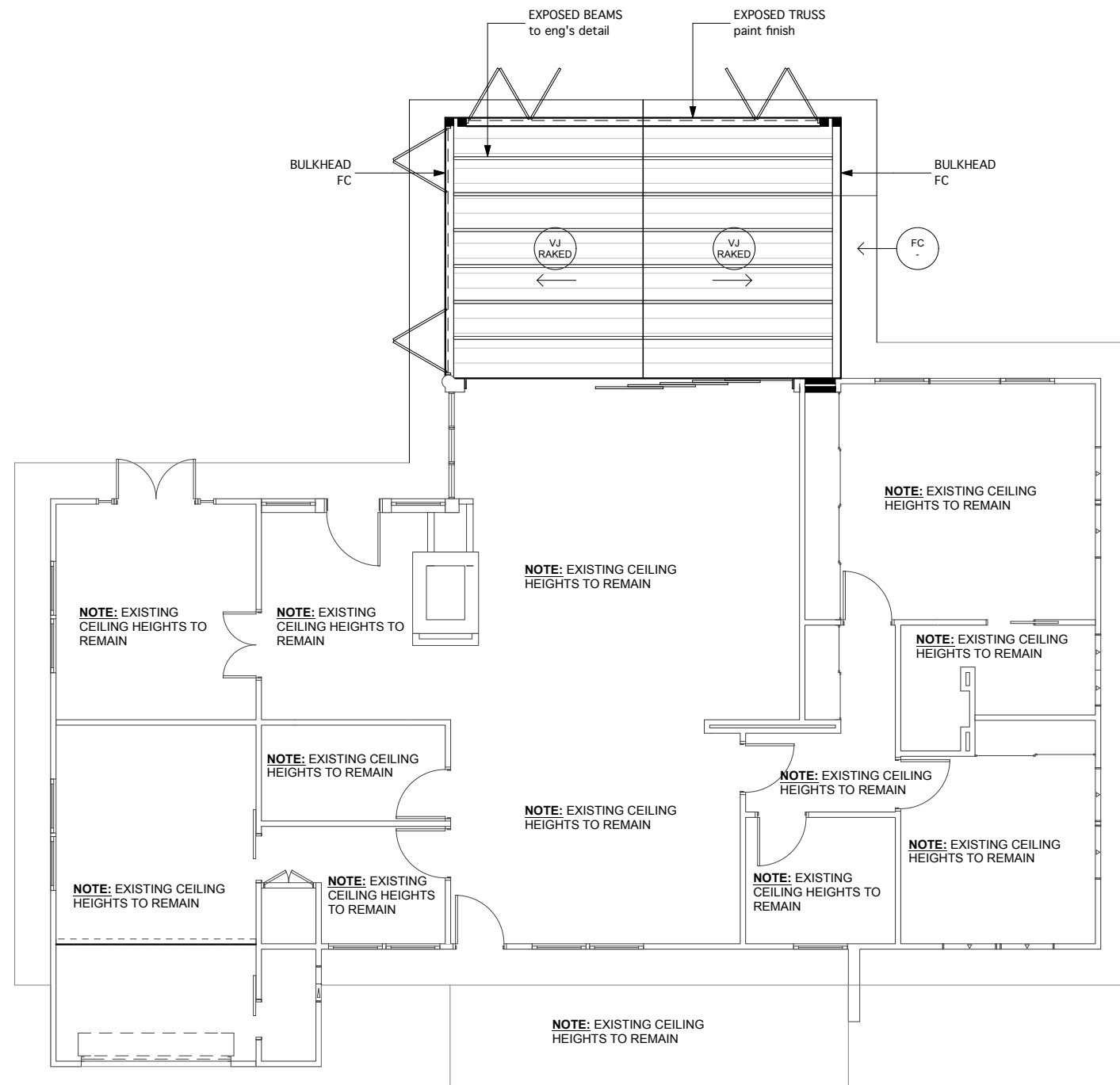
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**PROPOSED FLOOR PLAN**

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REFLECTED CEILING PLAN  
GROUND

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**PROPOSED FLOOR REFLECTED  
CEILING PLAN**

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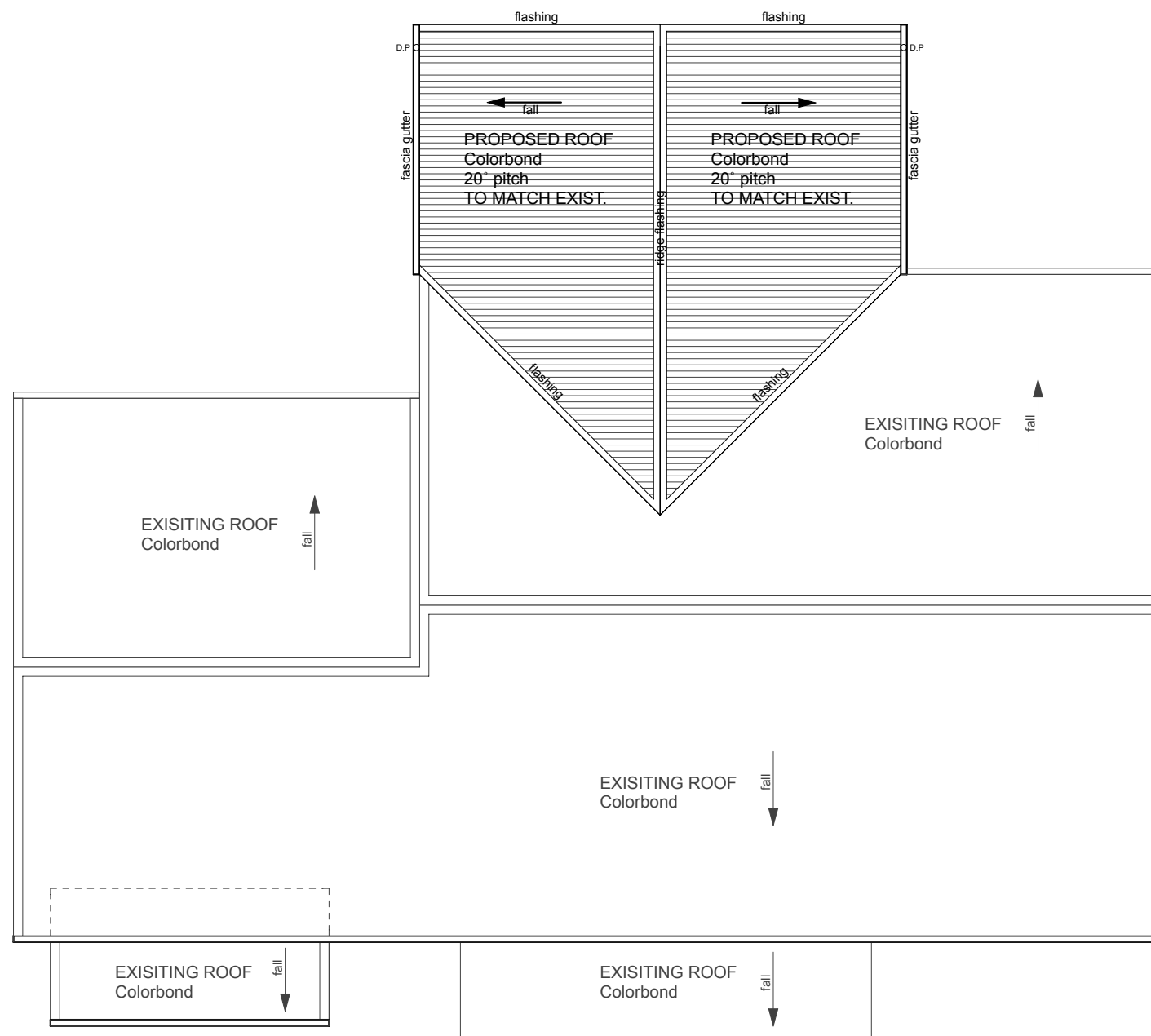
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ROOF PLAN  
PROPOSED

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**PROPOSED ROOF PLAN**

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WEST ELEVATION  
PROPOSED

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**PROPOSED ELEVATIONS**

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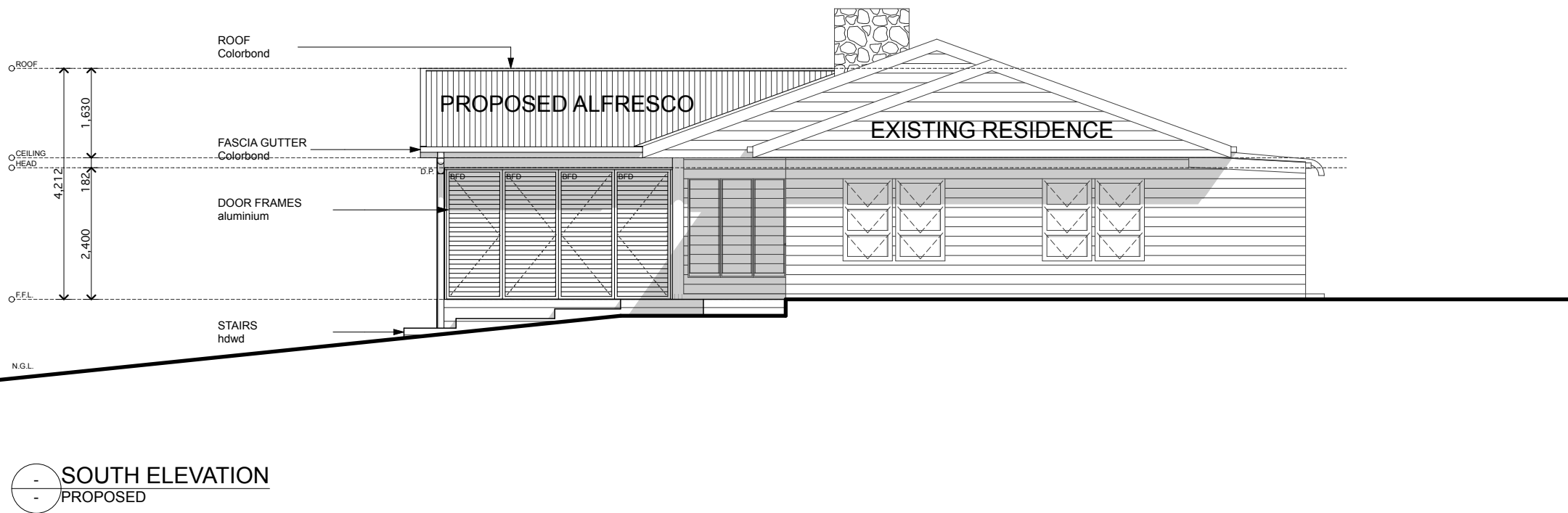
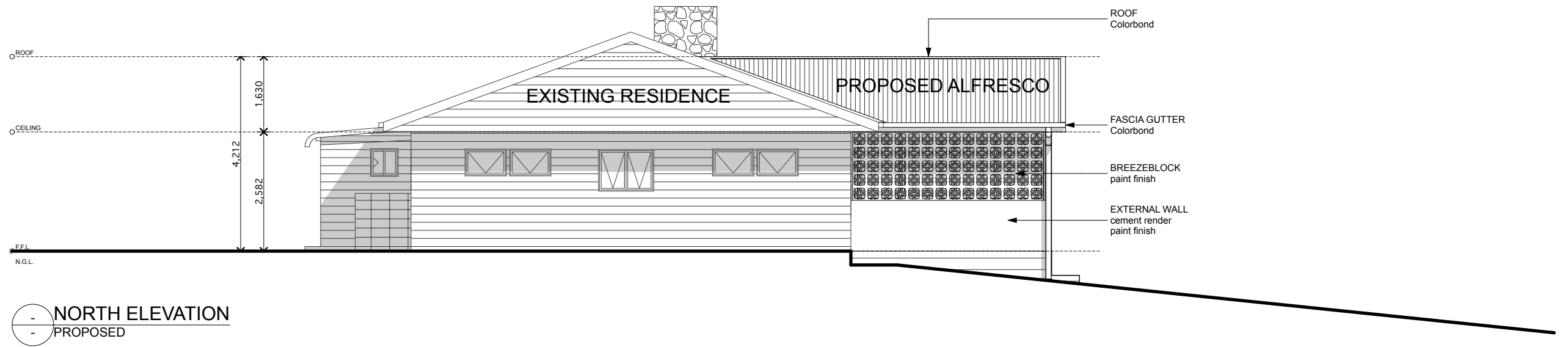
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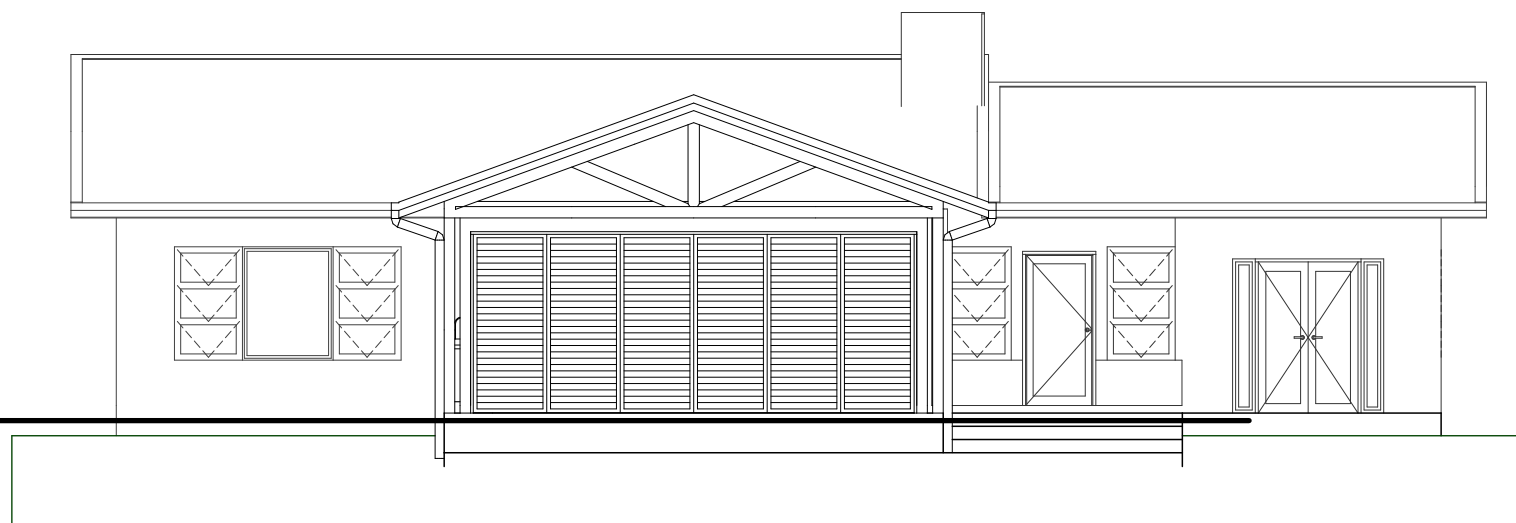
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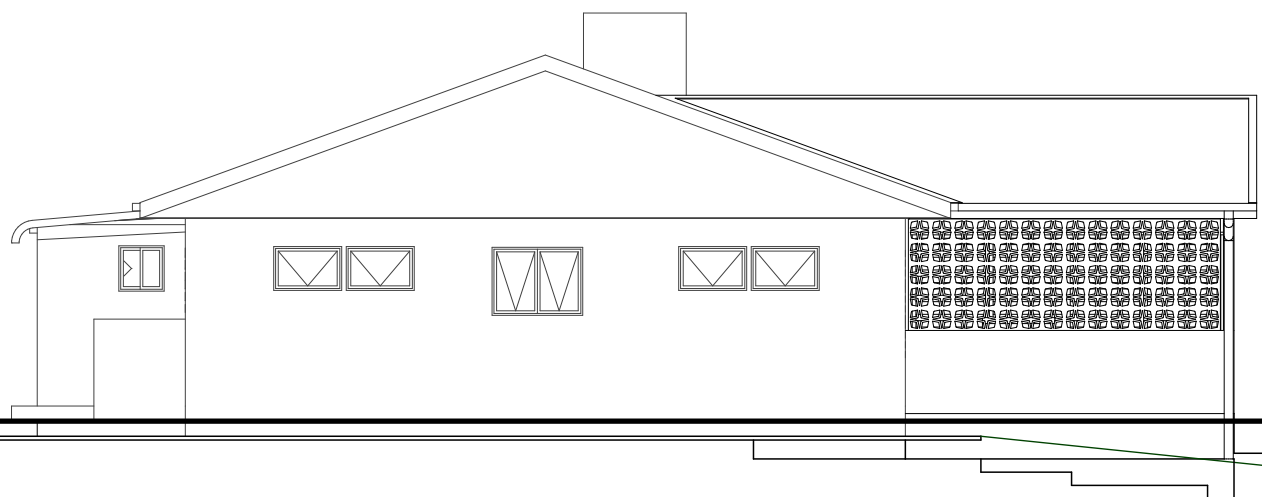
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PROJECT NUMBER <b>8418</b>	DRAWING NUMBER <b>WD 1.9 B</b>



N.G.L.

SECTION A-A  
PROPOSED



N.G.L.

SECTION B-B  
PROPOSED

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GOLD COAST & MELBOURNE

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**PROPOSED SECTIONS**

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**WD 1.10<sup>B</sup>**

DOOR SCHEDULE						
ID	HEIGHT	WIDTH	FRAME	DOOR	GLASS	NOTES
D 01	2,400	4,155	Aluminium	Bi-fold	-	PVC Shutters
D 02	2,400	5,905	Aluminium	Bi-fold	-	PVC Shutters
D 03	2,400	5,500	Aluminium	Sliding- Multi panels	Clear	4 Sliding Panels, 1 Fixed

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**PROPOSED WINDOW & DOOR  
 SCHEDULE**

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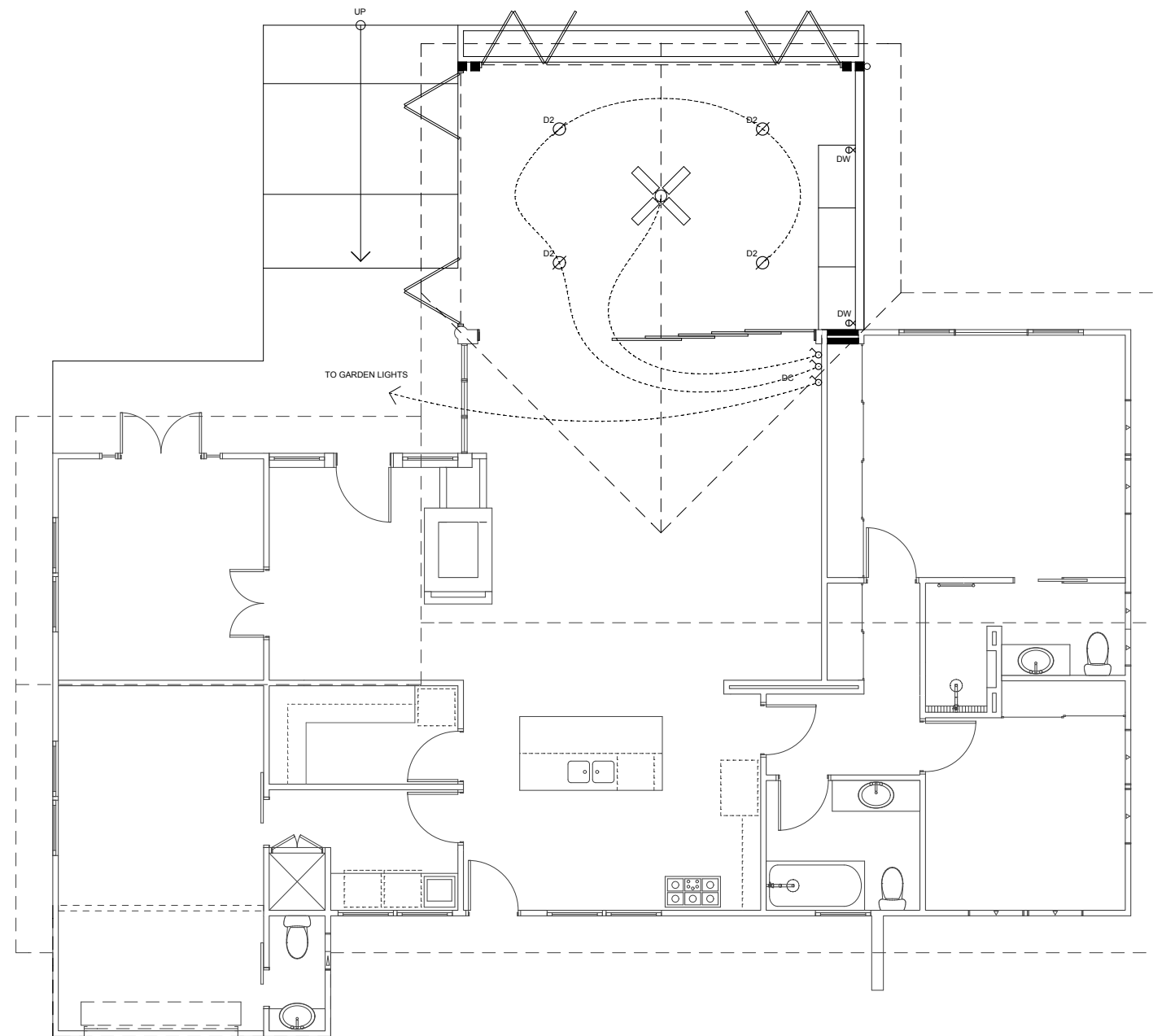
CONSTRUCTION

PROJECT NUMBER

**8418**

DRAWING NUMBER

**WD 1.11 B**



**LEGEND**

- SWITCH
- <sup>DC</sup> DIMMER CONTROLLED SWITCH
- <sup>TWS</sup> TWO WAY SWITCH
- <sup>D1</sup> LED DOWNLIGHT (warm white)
- <sup>D2</sup> WATERPROOF LED DOWNLIGHT (warm white)
- ⊕ PENDANT LIGHT
- SINGLE FLUORESCENT TUBE
- ROUND FLUORESCENT LIGHT
- ⌞ EXTERNAL WALL LIGHT
- ⊞ TASTIC
- MECHANICAL VENTILATION
- ⊗<sup>SL</sup> LOW SINGLE GPO (EXACT HEIGHT TBD ON SITE)
- ⊗<sup>DL</sup> LOW DOUBLE GPO (EXACT HEIGHT TBD ON SITE)
- ⊗<sup>SM</sup> MID SINGLE GPO (EXACT HEIGHT TBD ON SITE)
- ⊗<sup>DM</sup> MID DOUBLE GPO (EXACT HEIGHT TBD ON SITE)
- ⊗<sup>SH</sup> HIGH SINGLE GPO (EXACT HEIGHT TBD ON SITE)
- ⊗<sup>DH</sup> HIGH DOUBLE GPO (EXACT HEIGHT TBD ON SITE)
- ⊗<sup>SC</sup> SINGLE GPO (IN CEILING)
- ⊗<sup>SW</sup> SINGLE GPO (WEATHERPROOF)
- ⊗<sup>DW</sup> DOUBLE GPO (WEATHERPROOF)
- △<sup>TV</sup> TV POINT
- △<sup>TEL</sup> TELEPHONE POINT
- SMOKE DETECTOR

○ ELECTRICAL PLAN  
○ GROUND

**JAYSON PATE DESIGN**

GOLD COAST & MELBOURNE

ABN/ 72 872 042 374 phone/ +61 422 848 474 gold coast mail/ P.O. Box 5049 GC Mail Centre, Bundall, QLD 9726 melbourne mail/ P.O. Box 369 Bay Street, Port Melbourne, VIC 3207 email/ info@jaysonpatedesign.com.au web/ www.jaysonpatedesign.com.au

BSA lic/ 1213109 fax/ +61 7 5592 6028

PROJECT TITLE

**27 ORIENT STREET,  
KINGSLIFF  
LOT 13 on DP 7309**

DRAWING TITLE

**PROPOSED ELECTRICAL PLAN**

REVISIONS

NOTES

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3. Verify all dimensions on site prior to construction.
4. Check any discrepancies with this office.
5. Do not build from drawings not marked 'for construction'.

SCALE

1:100@A3

DATE

04.12.18

DRAWN

JP

ISSUE

CONSTRUCTION

PROJECT NUMBER

**8418**

DRAWING NUMBER

**WD 1.12<sup>B</sup>**