

# PROPOSED RESIDENTIAL DWELLING

at  
18 Kanooka Crescent, Bogangar, NSW  
Lot 5- DP 1273771

## CONCEPT DESIGN

### DRAWING LIST

SHEET NO.	SHEET NAME	ISSUE NO.	ISSUE DATE
SD01	TITLE SHEET	B	12.10.21
SD02	GENERAL NOTES	B	12.10.21
SD03	SITE CONTEXT	B	12.10.21
SD04	SITE ANALYSIS	A	22.09.21
SD05	SOLAR STUDY		
SD06	SITE PLAN	B	12.10.21
SD07	GROUND FLOOR PLAN	B	12.10.21
SD7.1	GROUND FLOOR SETOUT	A	12.10.21
SD08	LEVEL 1 PLAN	A	12.10.21
SD09	NORTH & EAST ELEVATIONS	B	12.10.21
SD10	SOUTH & WEST ELEVATIONS	A	12.10.21
SD11	CONCEPT PERSPECTIVES	A	12.10.21

REV.	DESCRIPTION	DATE
A	CLIENT REVIEW	22.09.21
B	CLIENT REVIEW	12.10.21

COPYRIGHT 2021 JARDINE DESIGN SPACE  
DO NOT SCALE DRAWINGS. CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH JARDINE DESIGN SPACE GENERAL NOTES SHEET FORMING PART OF THIS DOCUMENTATION.  
ALL MATERIALS AND WORK ARE TO BE STRICTLY IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE.  
AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, CURRENT AT TIME OF CONSTRUCTION. THE PURPOSE OF THESE DOCUMENTS ARE  
TO COMMUNICATE DESIGN INTENT. IF DISCREPANCIES BETWEEN THESE DETAILS AND THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS  
AND MANUFACTURERS ARE NOTED, CONTRACTOR IS TO CONFIRM PRIOR TO CONSTRUCTION.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED FOR CONSTRUCTION.



**JARDINE DESIGN SPACE**  
BUILDING DESIGN

Ph: 0403 414 089  
Em: [admin@jardinedesignspace.com.au](mailto:admin@jardinedesignspace.com.au)  
QBCC Licence- 15141676

Project :	Location :	Drawing number :	Project number :
PROPOSED RESIDENTIAL DWELLING	18 Kanooka Crescent, Bogangar, NSW Lot 5, DP1273771	SD01	P21.26
Client :	Drawing Title :	Scale : @ A3	Issue :
Sara Downes	TITLE SHEET		B

**GENERAL NOTES:****THE NATIONAL CONSTRUCTION CODE (NCC) COMPRISES OF THE BUILDING CODE OF AUSTRALIA (BCA).**

- ALL CONSTRUCTION TO BE STRICTLY IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS, CURRENT AMENDMENT.
- THE PURPOSE OF THE DESIGNERS DOCUMENTATION IS TO SHOW THE DESIGN INTENT FOR THE PROJECT. BUILDERS & SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS, OR ORDERING MATERIALS & SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE CURRENT BUILDING CODE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS & TOWN PLANNING REQUIREMENTS. IF ANY DISCREPANCY IS FOUND WITH THIS DOCUMENTATION THE DESIGNER IS TO BE CONSULTED FOR CONFIRMATION PRIOR TO CONSTRUCTION. NO RESPONSIBILITY IS TAKEN BY THE DESIGNER FOR WORK COMPLETED NOT IN ACCORDANCE WITH THE ABOVE.
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS. THE BUILDER SHALL SITE CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ANY UNDERGROUND SERVICES SHOWN ON THESE PLANS ARE LOCATED OFF COUNCIL RECORDS AND FROM EXTERNAL CONSULTANTS. JARDINE DESIGN SPACE CARRIES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF SERVICES WHICH MUST BE LOCATED BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
- SITE PREPARATION SHALL BE IN ACCORDANCE WITH AS3796 AND PART 3.1 OF THE BCA.
- SUB FLOOR VENTILATION WHERE APPLICABLE IS TO COMPLY WITH PART 3.4 OF THE BCA AND CLAUSE 3.4.1 OF THE BCA.
- TERMITE MANAGEMENT SHALL COMPLY WITH BCA CURRENT ADDITION, VOLUME 2 PART 3.1.3 AND AS3660.1. BUILDER TO PROVIDE A CERTIFICATE OF COMPLIANCE. BUILDER TO CONFIRM WITH OWNER THE CHOSEN METHOD OF TIMBER PROTECTION. OWNER REMAINS RESPONSIBLE FOR ONGOING INSPECTION OF STRUCTURAL TIMBER ELEMENTS, AND THAT BARRIERS ARE NOT COMPROMISED
- DRIVEWAY DESIGN TO BE IN ACCORDANCE WITH AS/NZS2890, CURRENT AMENDMENT AND LOCAL AUTHORITY REQUIREMENTS.
- THE WIND DESIGN SPEED FOR CALCULATIONS REFER ENGINEERS DETAILS AND DESIGN. AS4055-2012 WIND LOADINGS FOR HOUSES.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH AS2870 AND PART 3.2 OF THE BCA VOLUME 2 AND ENGINEERS DETAILS.
- TIMBER FRAMING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 1684.2 AND AS 1684.4 NON CYCLONIC AREAS AND AS 1684.3 CYCLONIC AREAS.
- ROOF TILES IN ACCORDANCE WITH AS2049-2002- ROOF TILES. ROOF TILE INSTALLATION IN ACCORDANCE WITH AS2050-2002- INSTALLATION OF ROOF TILES.
- MASONRY CONSTRUCTION SHALL BE IN ACCORDANCE WITH AS3700 AND PART 3.3 OF THE BCA VOLUME 2 AND ENGINEERS DETAILS.
- ALL TIMBER CONSTRUCTION AND DETAILS SHALL BE IN ACCORDANCE WITH AS1684.2 AND PART 3.4 OF THE BCA VOLUME 2.
- STEELWORK SHALL BE IN ACCORDANCE WITH AS4100, AS1111, AS1112, PART 3.4.2 OF THE BCA 2012 VOLUME 2 AND ENGINEERS DETAILS. STEELWORK IN MASONRY SHALL BE HOT DIPPED GALVANISED.
- ALL PREFABRICATED ROOF TRUSSES TO BE ENGINEER DESIGNED, CERTIFIED AND FIXED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS.
- REFER STRUCTURAL/CIVIL ENGINEERS DOCUMENTATION FOR BRACING, TIE DOWN, STEEL WORK, RETAINING WALLS, SLAB AND FOOTING DESIGN DETAILS. THESE DRAWINGS ARE INDICATIVE ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION OF ANY STRUCTURAL ITEM.
- ENGINEER'S SIZING, DETAILS & DESIGN TAKES PRECEDENCE.
- PROVISIONS FOR PERSONS WITH A DISABILITY REFER AS1428.1 TO AS1428.4 ACCESS AND MOBILITY CODE.
- FINISHED FLOOR LEVEL SHALL FINISH A MINIMUM OF 250mm ABOVE THE FINISHED GROUND PLATFORM LEVEL.
- POLYTHENE MOISTURE BARRIER SHALL BE LAPPED 200mm AND FULLY TAPED UNDER CONCRETE SLAB AND SHALL EXTEND 100mm ONTO THE PERIMETER FOOTING.
- ALL SOFFITS TO BE HARDIFLEX WITH PVC JOINTS UNLESS OTHERWISE NOTED.
- DAMP PROOF COURSE AND WEEP HOLES TO COMPLY WITH PART 3 CLAUSE 3.3.4 OF THE BCA.
- SARKING TO ROOF AND WALLS TO COMPLY WITH PART 3.5 OF THE BCA & AS1736.
- SIZE AND INSTALLATION OF ALL DOWNPIPES TO BE IN ACCORDANCE WITH BCA 3.5.2.5.
- ALL ROOF AND WALL CLADDINGS TO COMPLY WITH AS1562-1992- DESIGN AND INSTALLATION OF ROOF AND WALL CLADDING.
- FIRE SEPARATION TO COMPLY WITH PART 3.7.1 OF THE BCA.
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND PART 3 CLAUSE 3.7.2 OF THE BCA.
- NATURAL VENTILATION TO COMPLY WITH PART 3 CLAUSE 3.8.5 OF THE BCA.
- NATURAL LIGHT TO COMPLY WITH PART 3 CLAUSE 3.8.4 OF THE BCA.
- CONSTRUCTION OF SANITARY COMPARTMENTS TO COMPLY WITH PART 3 CLAUSE 3.8.3 OF THE BCA. PROVIDE LIFT OFF HINGES TO W.C. EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED TO THE OUTSIDE AIR OR TO A VENTED ROOF SPACE & AS PER AS 1668.2.
- SAFE MOVEMENT, ACCESS, STAIRS AND BALUSTRADING TO COMPLY WITH BCA VOLUME 2 PART 3.9 CLAUSES 3.9.1 STAIRWAY & RAMP CONSTRUCTION, 3.9.2 BARRIERS & HANDRAILS, 3.9.3 SWIMMING POOL ACCESS, 3.9.4 SWIMMING POOL WATER RETICULATION SYSTEMS AND AS1170. ALL BALUSTRADES TO BE MIN 1M HIGH ABOVE 'FINISHED' SURFACE LEVELS, WITH MAX 125MM GAPS. THE BUILDER MUST ALLOW FOR ANY FUTURE FLOOR COVERINGS OR TILES IN CALCULATING 1M HEIGHT. HEIGHTS TO ALLOW FOR FLOOR SHAPE & FALLS. BALUSTRADES TO FLOORS 4M OR HIGHER ABOVE THE SURFACE BENEATH ARE TO BE NON-CLIMBABLE BETWEEN 150MM & 760MM ABOVE FINISHED FLOOR LEVEL.
- POOL AREA TO BE FENCED IN ACCORDANCE WITH AS1926.1. FENCING FOR PRIVATE SWIMMING POOLS AS2818 GUIDE TO SWIMMING POOL SAFETY PART 3 CLAUSE 3.9.3 OF THE BCA.
- ALL WET AREAS TO COMPLY WITH BCA 3.8.1.2 AND AS 3740. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TUB & VANITY BASINS WITHIN 75mm OF THE WALL. ALL WET AREAS TO BE SHEETED IN APPROVED WET AREA BOARD & HAVE APPROVED MEMBRANE. AS3740-2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
- SHOWER SCREENS TO BE INSTALLED IN ACCORDANCE WITH AS 2047 & AS 1288.
- GLAZING TO BE IN ACCORDANCE WITH AS 1288 & AS 2047 AND BCA VOL.2. PART 3.6.
- ALL CLADDINGS TO BE TESTED IN ACCORDANCE AS1530 AND DEEMED NON COMBUSTIBLE AND COMPLY WITH BCA C1.9.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH AS4654-WATERPROOF MEMBRANES FOR EXTERNAL ABOVE GROUND USE.
- ALL PREFABRICATED ROOF TRUSSES TO BE ENGINEER DESIGNED AND CERTIFIED AND FIXED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS.
- PROVIDE ROOF ACCESS HATCHES AS SHOWN ON PLANS. MINIMUM 600mm SQUARE. BUILDER TO NOMINATE LOCATION IF NOT INDICATED.
- LPG GAS BOTTLE LOCATION TO BE CONFIRMED ON SITE AND IN ACCORDANCE WITH AS/NZS 1596.
- THERMAL INSULATION; MINIMUM R2.5 BATTS TO CEILING & R1.5 BATTS & REFLECTIVE FOIL TO EXTERNAL WALLS OR AS PER ENERGY RATING REQUIREMENTS.
- ENERGY EFFICIENCY RATING SHALL BE IN ACCORDANCE WITH ENERGY REPORT, THE REQUIREMENTS OF THE LOCAL AUTHORITY REGULATIONS AND PART 3.12 OF THE BCA VOLUME 2.
- ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COASTAL OR INDUSTRIAL ENVIRONMENTS. IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ANY PROPRIETARY SPECIFIED PRODUCTS MUST BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS TECHNICAL DETAILS CURRENT AT THE TIME OF INSTALLATION. THE CONTRACTOR SHALL KEEP ON FILE COPIES OF ANY TECHNICAL DETAILS USED THROUGHOUT THE PROJECT FOR A PERIOD EQUAL TO THE STATUTORY WARRANTY PERIOD REQUIRED TO BE PROVIDED FOR THE PROJECT.
- ALL SETBACK DIMENSIONS NOTED ON SITE PLAN ARE TO EXTERNAL FACE OF FINAL SELECTED CLADDING. BUILDER IS TO MAKE ALLOWANCE FOR THE SELECTED CLADDING THICKNESS AND ADJUST ACCORDINGLY. SETBACKS TO BOUNDARY ARE TO REMAIN TO FINISHED FACE OF EXTERNAL WALL.



**SITE NOTES:**

- ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2 & 3.5.2 AS WELL AS AS/NZS 3500. STORMWATER TO BE TAKEN TO LEGAL POINT OF DISCHARGE AS DETERMINED BY LOCAL AUTHORITY.
- SURFACE WATER DRAINAGE MUST BE PREVENTED FROM ENTERING THE BUILDING WITH FGL SLOPING WITH FGL SLOPING 50mm OVER THE FIRST 1m AWAY FROM THE BUILDING & THE FINISHED SLAB HEIGHT AT A MINIMUM FFL 150mm ABOVE FGL OR MINIMUM 100mm ABOVE FGL IN SANDY, WELL DRAINED AREAS OF LOW RAINFALL INTENSITY (Q20 125mm), OR 50mm ABOVE IMPERMEABLE PAVED OR CONCRETED AREAS ALL IN ACCORDANCE WITH BCA VOL 2 P3.1.2.3.
- SITE TO BE PREPARED IN ACCORDANCE WITH ENGINEERS GEOTECHNICAL REPORT, WHERE APPLICABLE.
- SITE TO BE EXCAVATED AND/OR FILLED TO LEVELS SHOWN.
- ALL DOWNPIPE LOCATIONS, UNDERGROUND SERVICES AND STORMWATER, ETC. TO BE LOCATED BEFORE CONSTRUCTION COMMENCES.
- SEWER WORK TO BE CARRIED OUT IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS.
- ALL BUILDING WORKS TO COMPLY WITH LOCAL AUTHORITIES EROSION AND SEDIMENT CONTROL STANDARDS.
- GROUND SURFACE TO BE SLOPED 1:20 (MIN) AWAY FROM BUILDING FOR 1M (MIN) AND TO A POINT WHERE PONDING WILL NOT OCCUR.
- DISH DRAINS AND AG PIPES TO BE PROVIDED AS REQUIRED OR INDICATED TO FACILITATE DRAINAGE OF WATER AWAY FROM BUILDING.
- TEMPORARY DOWNPIPES TO BE PROVIDED AT DP LOCATIONS DURING CONSTRUCTION, DRAIN ROOF WATER ONTO GROUND 2M MIN AWAY FROM BUILDING.
- EROSION AND SILT RUN OFF PROTECTION TO BE MAINTAINED AT ALL TIMES.
- TEMPORARY FENCING AND WORK PLACE HEALTH AND SAFETY REQUIREMENTS TO BE MAINTAINED AT ALL TIMES.
- BUILDING TO BE SET OUT BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION. CROSS CHECK ALL SETBACKS AND DIMENSIONS.
- ALL SURVEY PEGS & EASEMENTS ARE TO BE LOCATED PRIOR TO EARTHWORKS. IF THEY CANNOT BE LOCATED CONSULT A REGISTERED ENGINEER.
- ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS & RETAINING WALLS & ARE CONNECTED TO THE STORMWATER SYSTEM AS PER ENGINEERS REQUIREMENTS.
- EXISTING DRAWINGS ARE BASED ON 'AS MEASURED' DIMENSIONS ON SITE OR INFORMATION PROVIDED.
- DIMENSIONS NOTED ARE SUBJECT TO FINAL CONFIRMATION BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORKS.

**STAIRS**

STAIR REQUIREMENTS : MIN. GOING 240mm, MAX. GOING 355mm, MIN. RISER 115mm, MAX. RISER 190mm, MEASURED IN ACCORDNACE WITH BCA FIGURE 3.9.1.4. SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON SLIP SURFACE. Refer BCA Part 3.9. BALUSTRADES : MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm AND IN ACCORDANCE WITH BCA 3.9.2. FOR STAINLESS STEEL BALUSTRADE, REFER TO Table 3.9.2.1 (WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION & MAXIMUM PERMISSIBLE DEFLECTION) OF THE BCA.

**LEGEND**

ABS	ALUMINIUM BATTEN SCREEN	FC	FIBRE CEMENT SHEETING	REF	REFRIGERATOR		SMOKE DETECTOR/ALARM
AC	AIR CONDITIONING UNIT	FFL	FINISHED FLOOR LEVEL	SC	STEEL COLUMN		MECHANICAL VENT
APPROX.	APPROXIMATELY	HC	HOSE COCK	SHR	SHOWER		
AS	AUSTRALIAN STANDARD	HW	HOT WATER SYSTEM	SL	SKYLIGHT		
BFC	BROOM FINISHED CONCRETE	HWD	HARD WOOD	SP	SPLITTER		
C	CONCRETE	MAX.	MAXIMUM	SS	STAINLESS STEEL		
CH	CEILING HEIGHT	M.S.B.	MAIN SWITCH BOARD	STFC	STEEL TROWEL FINISHED CONCRETE		
COL	COLUMN TO ENG DETAIL	N/A	NOT APPLICABLE	T	TIMBER FLOORING		
CPT	CARPET	NBN	NBN CONNECTION	TBC	TO BE CONFIRMED		
CS	CAVITY SLIDER	NGL	NATURAL GROUND LEVEL	TD	TIMBER DECKING		
CT	CERAMIC TILE	O/H	OVERHANG	TUB	LAUNDRY TUB		
CTRS	CENTRES	OHC	OVER HEAD CUPBOARD	V	VINYL		
DP	DOWNPIPE	PC	POLISHED CONCRETE	VB	VANITY BASIN		
ENS	ENSUITE	PE	POOL EQUIPMENT	WIR	WALK IN ROBE		
EX.	EXISTING	PWD	POWDER ROOM	WM	WASHING MACHINE		

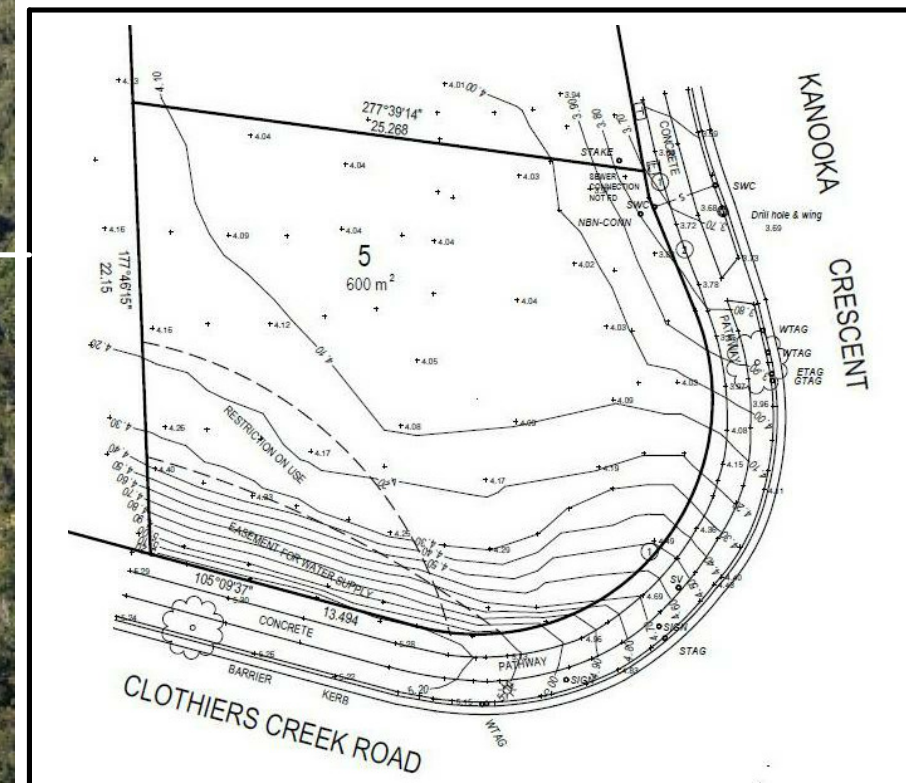
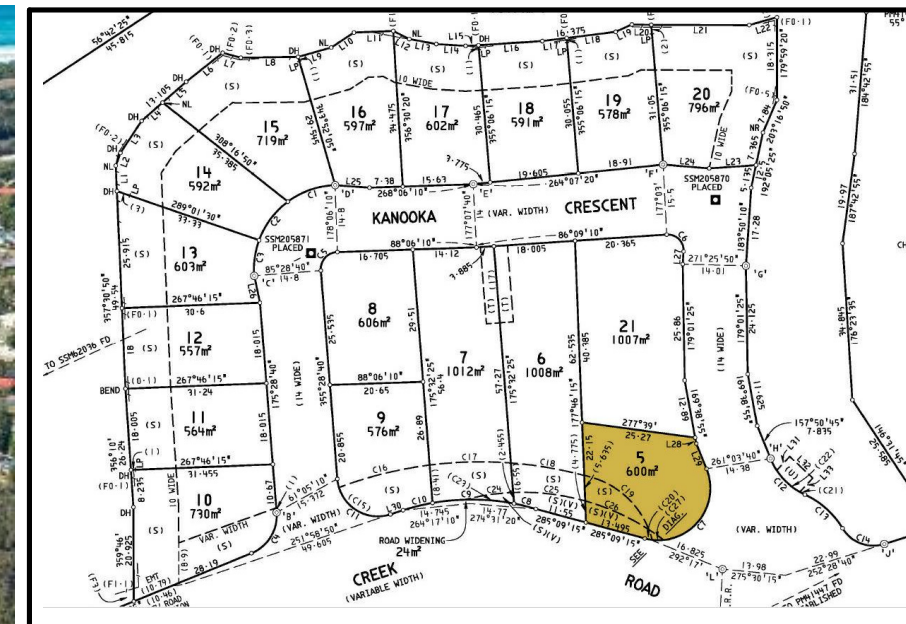
REV.	DESCRIPTION	DATE
A	CLIENT REVIEW	22.09.21
B	CLIENT REVIEW	12.10.21

COPYRIGHT 2021 JARDINE DESIGN SPACE  
DO NOT SCALE DRAWINGS. CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH JARDINE DESIGN SPACE GENERAL NOTES SHEET FORMING PART OF THIS DOCUMENTATION.  
ALL MATERIALS AND WORK ARE TO BE STRICTLY IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE,  
AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, CURRENT AT TIME OF CONSTRUCTION. THE PURPOSE OF THESE DOCUMENTS ARE TO COMMUNICATE DESIGN INTENT. IF DISCREPANCIES BETWEEN THESE DETAILS AND THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND MANUFACTURERS ARE NOTED, CONTRACTOR IS TO CONFIRM PRIOR TO CONSTRUCTION.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED FOR CONSTRUCTION.

**JARDINE DESIGN SPACE  
BUILDING DESIGN**

Ph: 0403 414 089  
Em: admin@jardinedesignspace.com.au  
QBCC Licence- 15141676

Project :	Location :	Drawing number :	Project number :
PROPOSED RESIDENTIAL DWELLING	18 Kanooka Crescent, Bogangar, NSW Lot 5, DP1273771	SD02	P21.26
Client :	Drawing Title :	Scale : @ A3	Issue :
Sara Downes	GENERAL NOTES	1 : 1	B



REV.	DESCRIPTION	DATE
A	CLIENT REVIEW	22.09.21
B	CLIENT REVIEW	12.10.21

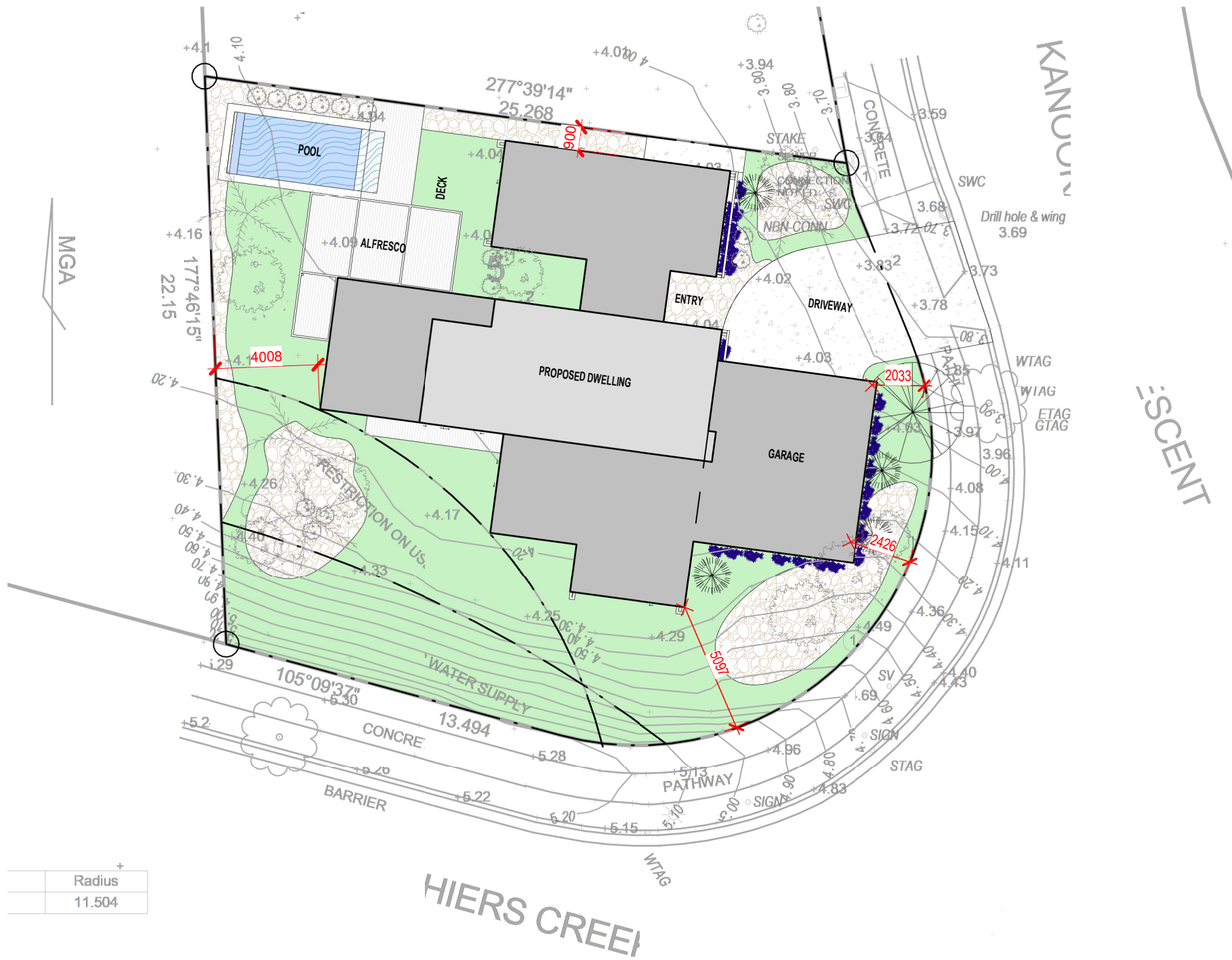
COPYRIGHT 2021 JARDINE DESIGN SPACE  
 DO NOT SCALE DRAWINGS. CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.  
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH JARDINE DESIGN SPACE GENERAL NOTES SHEET FORMING PART OF THIS DOCUMENTATION.  
 ALL MATERIALS AND WORK ARE TO BE STRICTLY IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE.  
 AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, CURRENT AT TIME OF CONSTRUCTION. THE PURPOSE OF THESE DOCUMENTS ARE  
 TO COMMUNICATE DESIGN INTENT. IF DISCREPANCIES BETWEEN THESE DETAILS AND THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS  
 AND MANUFACTURERS ARE NOTED, CONTRACTOR IS TO CONFIRM PRIOR TO CONSTRUCTION.  
 DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED FOR CONSTRUCTION.



**JARDINE DESIGN SPACE**  
 BUILDING DESIGN  
 Ph: 0403 414 089  
 Em: admin@jardinedesignspace.com.au  
 QBCC Licence- 15141676

Project:	Location:	Drawing number:	Project number:
PROPOSED RESIDENTIAL DWELLING	18 Kanooka Crescent, Bogangar, NSW Lot 5, DP1273771	SD03	P21.26
Client:	Drawing Title:	Scale: @ A3	Issue:
Sara Downes	SITE CONTEXT		B

CONCEPT



Radius	11.504
--------	--------

**PROPERTY DESCRIPTION**

LOT 5 SITE AREA SHIRE	DP 1273771 600m <sup>2</sup> (APPROX) TWEED
-----------------------------	---

**PROPOSED - AREA ANALYSIS (GFA)**

<b>GROUND FLOOR</b>	
GROUND FLOOR INTERNAL FLOOR AREA (EXCLUDING GARAGE)	? m <sup>2</sup>
GARAGE AREA	? m <sup>2</sup>
<b>LEVEL 1</b>	
LEVEL 1 INTERNAL FLOOR AREA (EXCLUDING STAIR/VOID)	? m <sup>2</sup>
STAIR	? m <sup>2</sup>
VOID	? m <sup>2</sup>
<b>TOTAL INTERNAL GFA (INC VOID)</b>	? m <sup>2</sup>
ENTRY DECK	? m <sup>2</sup>
ALFRESCO/DECKS TO BREEZEWAY	? m <sup>2</sup>
PRIVATE COURTYARD DECK	? m <sup>2</sup>
<b>TOTAL PROPOSED AREA</b>	? m <sup>2</sup>

**DCP CONTROLS- TWEED SHIRE- DCP A1**

**DESIGN CRITERIA**

REQUIRED	ACHIEVED
1) LANDSCAPING 35% (LOTS 600-900m <sup>2</sup> ) REQUIRED 35% OF 600m <sup>2</sup> = 180m <sup>2</sup>	
2) DEEP SOIL ZONES 4m x 4m (FRONT & REAR)	
3) SETBACKS	
PRIMARY FRONT = 4.5m	
SECONDARY FRONT = 3m	
REAR = 4.5m (UP TO 4.5m HEIGHT)	
REAR = 8m (OVER 4.5m HEIGHT)	
REAR GARAGE = 0.45m (GARAGE WALL)	
EAST SIDE = 0.9m GROUND FLOOR	
EAST SIDE = 0.9m LEVEL 1	
4) SITE COVERAGE LOTS 450 - 900m <sup>2</sup> - REQUIRED 50% = 300m <sup>2</sup>	
5) HEIGHT = 9m	



REV.	DESCRIPTION	DATE
A	CLIENT REVIEW	22.09.21
B	CLIENT REVIEW	12.10.21

COPYRIGHT 2021 JARDINE DESIGN SPACE  
DO NOT SCALE DRAWINGS. CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH JARDINE DESIGN SPACE GENERAL NOTES SHEET FORMING PART OF THIS DOCUMENTATION.  
ALL MATERIALS AND WORK ARE TO BE STRICTLY IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE.  
AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, CURRENT AT TIME OF CONSTRUCTION. THE PURPOSE OF THESE DOCUMENTS ARE TO COMMUNICATE DESIGN INTENT. IF DISCREPANCIES BETWEEN THESE DETAILS AND THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND MANUFACTURERS ARE NOTED, CONTRACTOR IS TO CONFIRM PRIOR TO CONSTRUCTION.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED FOR CONSTRUCTION.



**JARDINE DESIGN SPACE**  
BUILDING DESIGN

Ph: 0403 414 089  
Em: admin@jardinedesignspace.com.au  
QBCC Licence- 15141676

Project: PROPOSED RESIDENTIAL DWELLING	Location: 18 Kanooka Crescent, Bogangar, NSW Lot 5, DP1273771	Drawing number: SD06	Project number: P21.26
Client: Sara Downes	Drawing Title: SITE PLAN	Scale: @ A3	Issue: As indicated B

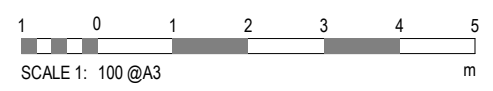
CONCEPT



1800 HIGH TIMBER FENCE TO BUILDERS SPECIFICATION

APPROVED FRAMELESS GLASS POOL FENCE TO MANUFACTURERS SPECIFICATIONS. MIN. 1200 HIGH.

1 **GROUND FLOOR**  
SD07 1:100



REV.	DESCRIPTION	DATE
A	CLIENT REVIEW	22.09.21
B	CLIENT REVIEW	12.10.21

COPYRIGHT 2021 JARDINE DESIGN SPACE  
DO NOT SCALE DRAWINGS. CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH JARDINE DESIGN SPACE GENERAL NOTES SHEET FORMING PART OF THIS DOCUMENTATION.  
ALL MATERIALS AND WORK ARE TO BE STRICTLY IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE.  
AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, CURRENT AT TIME OF CONSTRUCTION. THE PURPOSE OF THESE DOCUMENTS ARE TO COMMUNICATE DESIGN INTENT. IF DISCREPANCIES BETWEEN THESE DETAILS AND THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND MANUFACTURERS ARE NOTED, CONTRACTOR IS TO CONFIRM PRIOR TO CONSTRUCTION.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED FOR CONSTRUCTION.

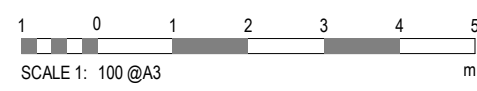
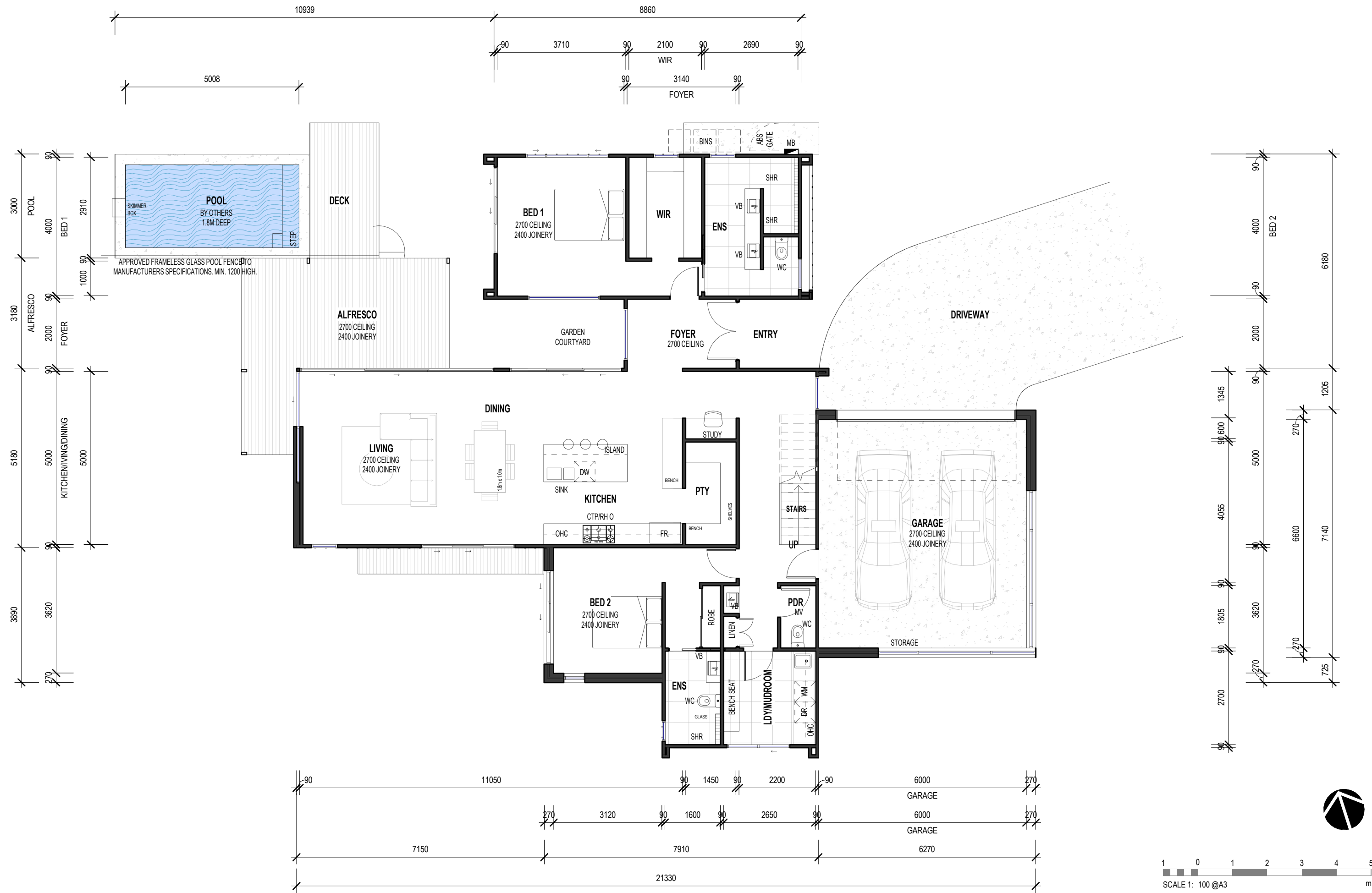


**JARDINE DESIGN SPACE**  
BUILDING DESIGN  
  
Ph: 0403 414 089  
Em: admin@jardinedesignspace.com.au  
QBCC Licence- 15141676

Project:	PROPOSED RESIDENTIAL DWELLING	Location:	18 Kanooka Crescent, Bogangar, NSW Lot 5, DP1273771	Drawing number:	SD07	Project number:	P21.26
Client:	Sara Downes	Drawing Title:	GROUND FLOOR PLAN	Scale:	@ A3	Issue:	B

CONCEPT

CONCEPT



REV.	DESCRIPTION	DATE
A	CLIENT REVIEW	12.10.21

COPYRIGHT 2021 JARDINE DESIGN SPACE  
 DO NOT SCALE DRAWINGS. CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.  
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH JARDINE DESIGN SPACE GENERAL NOTES SHEET FORMING PART OF THIS DOCUMENTATION.  
 ALL MATERIALS AND WORK ARE TO BE STRICTLY IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE.  
 AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, CURRENT AT TIME OF CONSTRUCTION. THE PURPOSE OF THESE DOCUMENTS ARE  
 TO COMMUNICATE DESIGN INTENT. IF DISCREPANCIES BETWEEN THESE DETAILS AND THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS  
 AND MANUFACTURERS ARE NOTED, CONTRACTOR IS TO CONFIRM PRIOR TO CONSTRUCTION.  
 DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED FOR CONSTRUCTION.



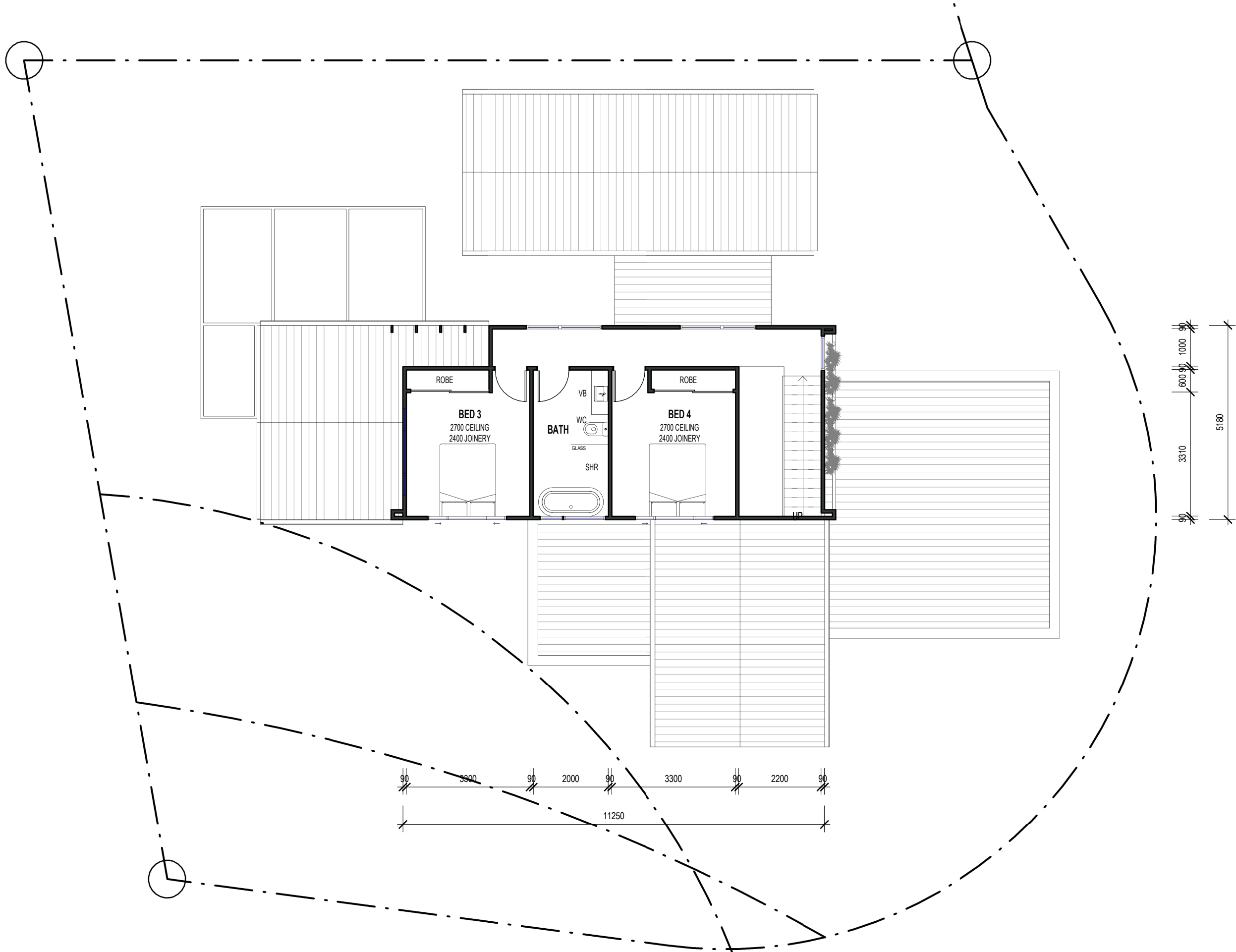
**JARDINE DESIGN SPACE**  
 BUILDING DESIGN

Ph: 0403 414 089  
 Em: admin@jardinedesignspace.com.au  
 QBCC Licence- 15141676

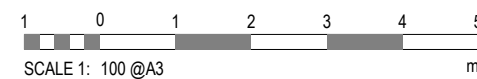
Project:	PROPOSED RESIDENTIAL DWELLING	Location:	18 Kanooka Crescent, Bogangar, NSW Lot 5, DP1273771	Drawing number:	SD7.1	Project number:	P21.26
Client:	Sara Downes	Drawing Title:	GROUND FLOOR SETOUT	Scale:	@ A3	Issue:	A

CONCEPT

CONCEPT

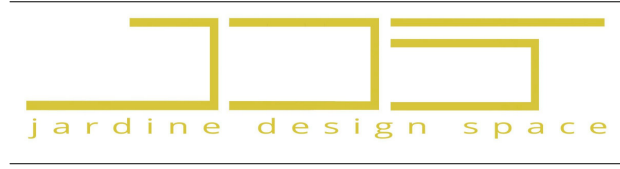


1 **FIRST FLOOR**  
SD08 1 : 100



REV.	DESCRIPTION	DATE
A	CLIENT REVIEW	12.10.21

COPYRIGHT 2021 JARDINE DESIGN SPACE  
DO NOT SCALE DRAWINGS. CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH JARDINE DESIGN SPACE GENERAL NOTES SHEET FORMING PART OF THIS DOCUMENTATION.  
ALL MATERIALS AND WORK ARE TO BE STRICTLY IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE.  
AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, CURRENT AT TIME OF CONSTRUCTION. THE PURPOSE OF THESE DOCUMENTS ARE  
TO COMMUNICATE DESIGN INTENT. IF DISCREPANCIES BETWEEN THESE DETAILS AND THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS  
AND MANUFACTURERS ARE NOTED, CONTRACTOR IS TO CONFIRM PRIOR TO CONSTRUCTION.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED FOR CONSTRUCTION.



**JARDINE DESIGN SPACE**  
BUILDING DESIGN  
Ph: 0403 414 089  
Em: admin@jardinedesignspace.com.au  
QBCC Licence- 15141676

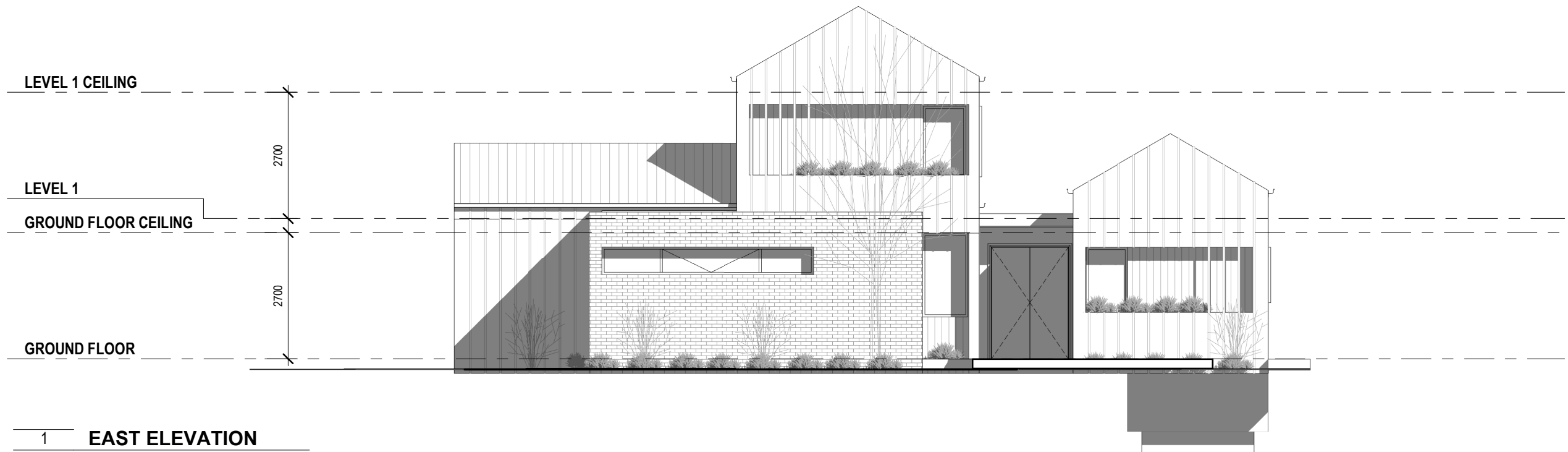
Project :  
PROPOSED RESIDENTIAL  
DWELLING  
Client :  
Sara Downes

Location :  
18 Kanooka Crescent, Bogangar, NSW  
Lot 5, DP1273771  
Drawing Title :  
LEVEL 1 PLAN

Drawing number :  
SD08  
Scale : @ A3  
1 : 100  
Project number :  
P21.26  
Issue :  
A

CONCEPT

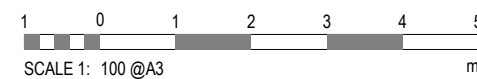
CONCEPT



1 **EAST ELEVATION**  
SD09 1:100



2 **NORTH ELEVATION**  
SD09 1:100



REV.	DESCRIPTION	DATE
A	CLIENT REVIEW	22.09.21
B	CLIENT REVIEW	12.10.21

COPYRIGHT 2021 JARDINE DESIGN SPACE  
DO NOT SCALE DRAWINGS. CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH JARDINE DESIGN SPACE GENERAL NOTES SHEET FORMING PART OF THIS DOCUMENTATION.  
ALL MATERIALS AND WORK ARE TO BE STRICTLY IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE.  
AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, CURRENT AT TIME OF CONSTRUCTION. THE PURPOSE OF THESE DOCUMENTS ARE TO COMMUNICATE DESIGN INTENT. IF DISCREPANCIES BETWEEN THESE DETAILS AND THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND MANUFACTURERS ARE NOTED, CONTRACTOR IS TO CONFIRM PRIOR TO CONSTRUCTION.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED FOR CONSTRUCTION.



**JARDINE DESIGN SPACE**  
BUILDING DESIGN  
  
Ph: 0403 414 089  
Em: admin@jardinedesignspace.com.au  
QBCC Licence- 15141676

Project :  
PROPOSED RESIDENTIAL DWELLING  
  
Client :  
Sara Downes

Location :  
18 Kanooka Crescent, Bogangar, NSW  
Lot 5, DP1273771  
  
Drawing Title :  
NORTH & EAST ELEVATIONS

Drawing number :  
SD09  
  
Project number :  
P21.26  
  
Scale : @ A3  
1:100  
  
Issue :  
B

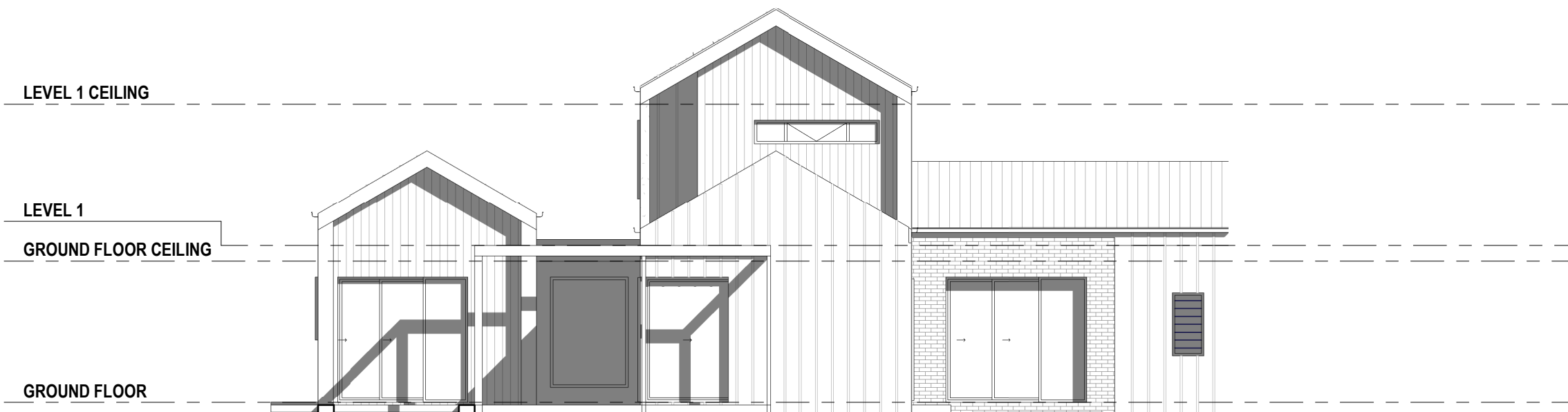
CONCEPT

CONCEPT





1 **SOUTH ELEVATION**  
SD10 1:100



2 **WEST ELEVATION**  
SD10 1:100



REV.	DESCRIPTION	DATE
A	CLIENT REVIEW	12.10.21

COPYRIGHT 2021 JARDINE DESIGN SPACE  
DO NOT SCALE DRAWINGS. CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH JARDINE DESIGN SPACE GENERAL NOTES SHEET FORMING PART OF THIS DOCUMENTATION.  
ALL MATERIALS AND WORK ARE TO BE STRICTLY IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE.  
AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, CURRENT AT TIME OF CONSTRUCTION. THE PURPOSE OF THESE DOCUMENTS ARE  
TO COMMUNICATE DESIGN INTENT. IF DISCREPANCIES BETWEEN THESE DETAILS AND THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS  
AND MANUFACTURERS ARE NOTED, CONTRACTOR IS TO CONFIRM PRIOR TO CONSTRUCTION.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED FOR CONSTRUCTION.



**JARDINE DESIGN SPACE**  
BUILDING DESIGN

Ph: 0403 414 089  
Em: admin@jardinedesignspace.com.au  
QBCC Licence- 15141676

Project : PROPOSED RESIDENTIAL DWELLING	Location : 18 Kanooka Crescent, Bogangar, NSW Lot 5, DP1273771	Drawing number : SD10	Project number : P21.26
Client : Sara Downes	Drawing Title : SOUTH & WEST ELEVATIONS	Scale : @ A3 1:100	Issue : A

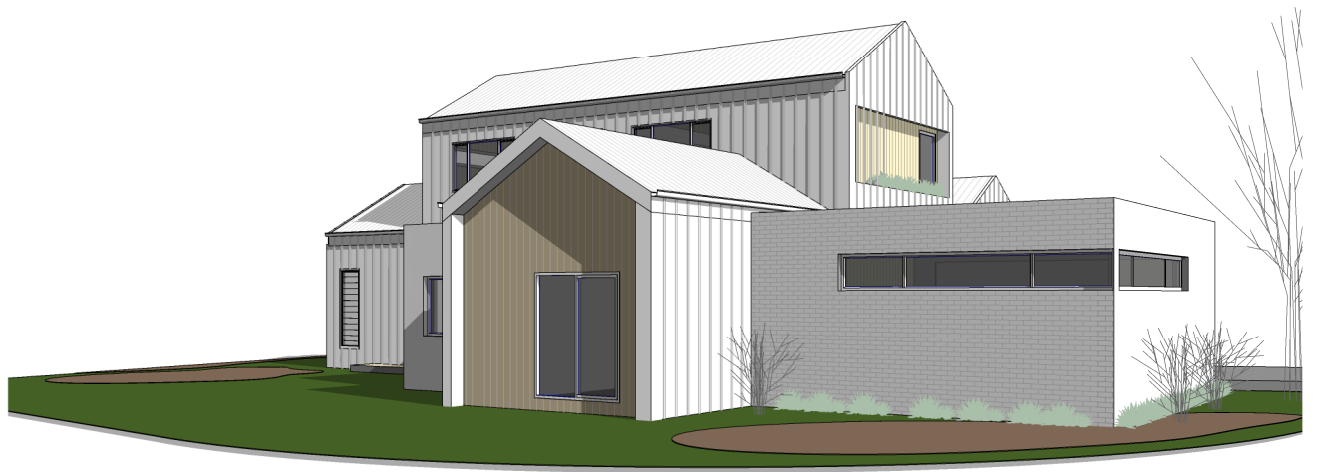
CONCEPT



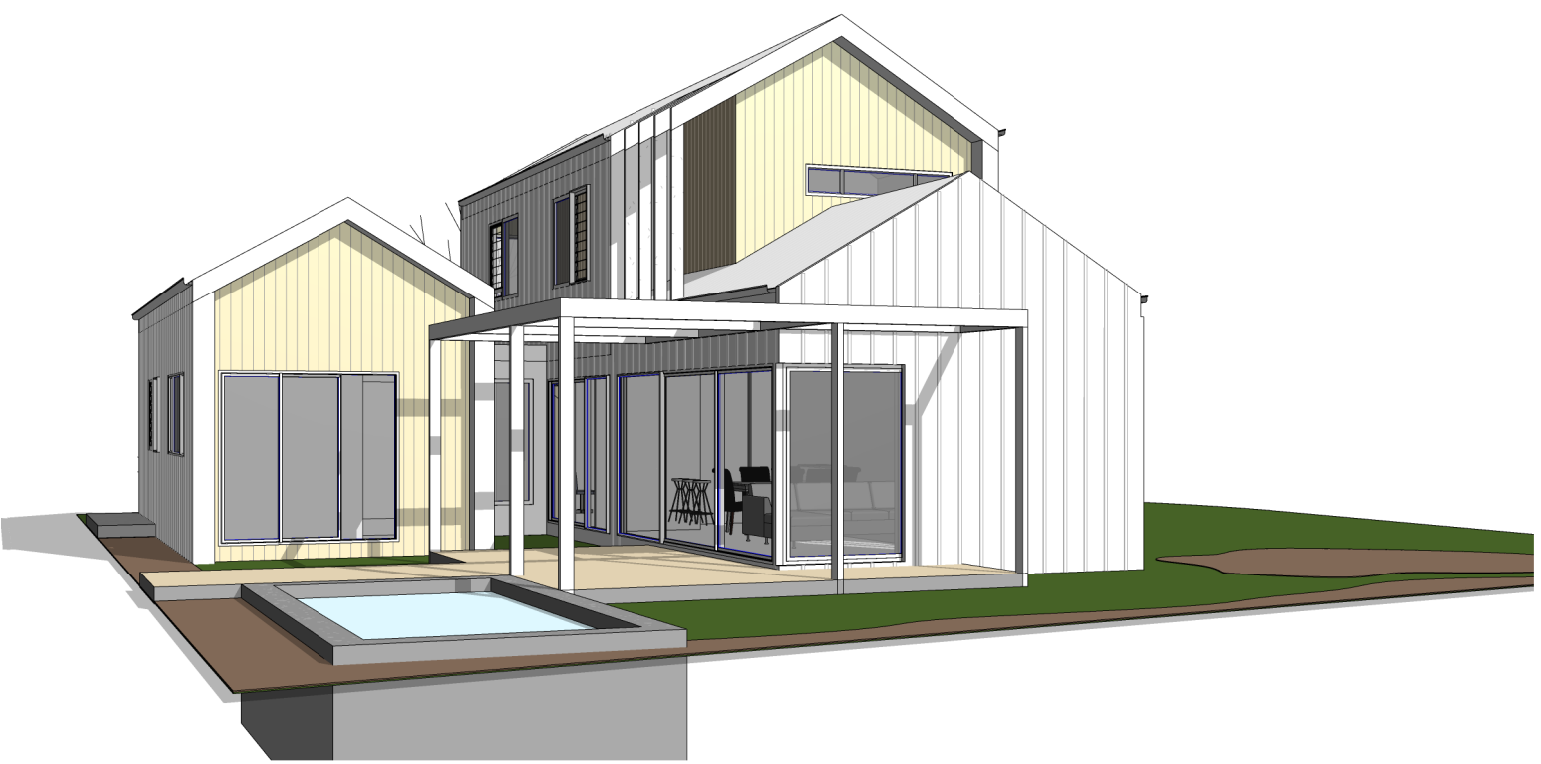
1 **PERSPECTIVE 1**  
SD11



2 **PERSPECTIVE 3**  
SD11



3 **PERSPECTIVE 2**  
SD11



4 **PERSPECTIVE 4**  
SD11

## CONCEPT PERSPECTIVES

\*INDICATIVE IMAGES ONLY\*

REV.	DESCRIPTION	DATE
A	CLIENT REVIEW	12.10.21

COPYRIGHT 2021 JARDINE DESIGN SPACE  
DO NOT SCALE DRAWINGS. CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH JARDINE DESIGN SPACE GENERAL NOTES SHEET FORMING PART OF THIS DOCUMENTATION.  
ALL MATERIALS AND WORK ARE TO BE STRICTLY IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE.  
AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, CURRENT AT TIME OF CONSTRUCTION. THE PURPOSE OF THESE DOCUMENTS ARE TO COMMUNICATE DESIGN INTENT. IF DISCREPANCIES BETWEEN THESE DETAILS AND THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND MANUFACTURERS ARE NOTED, CONTRACTOR IS TO CONFIRM PRIOR TO CONSTRUCTION.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED FOR CONSTRUCTION.



**JARDINE DESIGN SPACE**  
BUILDING DESIGN  
  
Ph: 0403 414 089  
Em: admin@jardinedesignspace.com.au  
QBCC Licence- 15141676

Project : PROPOSED RESIDENTIAL DWELLING	Location : 18 Kanooka Crescent, Bogangar, NSW Lot 5, DP1273771	Drawing number : SD11	Project number : P21.26
Client : Sara Downes	Drawing Title : CONCEPT PERSPECTIVES	Scale : @ A3	Issue : A

CONCEPT