

PROPOSED DUPLEX DEVELOPMENT FOR:

J MAGEE + W KELLY

AT: LOT 6 #12 KANOOKA CRES, BOGANGAR NSW VILLA ONE

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GENERAL NOTES:

- All dimensions in millimetres.
- Dimensions take preference to scale and are to structure not finish.
- Check and verify dimensions and confirm any existing dimensions marked.
- Work shall comply with the National Construction Code and all relevant current Australian Standards. Any outdated Standards listed in these notes are to be taken to refer to the current edition.
- Manufacturers specification means a current approved specification for use under the conditions applicable.
- UNO = Unless Noted Otherwise.
DPC = Damp Proof Course.
OMP = Outer Most Point.
- It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services

SITE WORKS

- Site to be excavated and or filled to levels shown.
- Footings shall be placed as per builders spec or engineers details.
- Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

POOL FENCING

All pool fencing shall be a min. 1200mm high and inaccordance with AS 1926.1

RETAINING WALLS

- All retaining walls are to comply with Council policy on retaining walls and embankments on residential building sites.
- Position of retaining walls may vary and must be verified by builder prior to commencement.
- Any variation at construction stage to comply with Council policy.

These plans are to be read in conjunction with any structural and civil engineering computations and drawings

All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections

Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

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All works shall comply with but not limited to the National Construction Code and the australian standards listed below.

AS 1288 - 2006 GLASS IN BUILDINGS SELECTION AND INSTALLATION

AS 1562 - 2006 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING

AS 1684 - 2010 NATIONAL TIMBER FRAMING CODE

AS 2049 - 2002 ROOF TILES

AS 2050 - 2002 INSTALLATION OF ROOF TILES

AS 2870 - 2011 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION

AS /NZS 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS

AS 3600 - 2009 CONCRETE STRUCTURES

AS 3660 - 2000 BARRIERS FOR SUBTERRANEAN TERMITES

AS 3700 - 2011 MASONRY STRUCTURES

AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

AS 4055 - 2006 WIND LOADING FOR HOUSES

AS 4100 - 1998 STEEL STUCTURES

CLIENT SIGNATURES:

TILED DECKS:

Tiled decks over livable areas are to be, in the following order over the floor joists - 19mm compressed FC sheet, with one layer of parchem emerproof 750 with a second layer of sand seed with a DFT of 1300 micron, installed to manuf. specifications, and floor tiles over, all corners to have 20mm mastic sealant under parchem emerproof 720

SAFTEY GLAZING TO BE USED IN THE FOLLOWING CASES:

- All rooms - within 500mm vertical of the floor
- Bathrooms within 1500mm vertical of the floors
- Fully glazed doors
- Shower screens
- Within 300mm of a door and <1200mm above floor level
- window sizes are nominal only, actual sizes will vary with manufacturer, flashing all round

STAIR REQUIREMENTS

Min. tread 240mm, Min.riser 115mm, Max. riser 190mm. Space between open treads Max. 125mm. Treads to be a non slip surface. Balustrades : min. 1000mm above landings with max. opening of 125mm and in accordance with NCC 3.9.1. For stainless steel balustrade, refer to table 3.9.2.1 (Wire balustrade construction - required wire tension and maximum permissible deflection) of the NCC

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BLOCKWORK

- AS PER ENGINEERS DETAILS

BRICKWORK

- Brickwork to conform to AS 3700 2011 Masonry in buildings
- Walls to have a continuous cavity kept clear of mortar droppings.
- Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external wall. (Approx. 1 brick sized vent every 2 metres.)
- Provide wall ties at 600mm spacings both vertical and horizontal and within 300mm of articulation joints. Brick ties to be galvanised.

STEELWORK

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 2010 National timber framing code

WET AREA SURFACES

- Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- All wet areas to comply with NCC 3.8.1 and AS 3740. Splashbacks shall be impervious for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.

LEGEND

WIR	Walk in Robe	SD	Ionisation Smoke Alarm
L'DRY	Laundry	LB	Load Bearing
ENS	Ensuite	CJ	Construction Joint
PWD	Powder Room	AHD	Australian Height Datum
BRM	Broom Cupboard	FFL	Finished Floor Level
UBO	Under Bench Oven	AS	Australian Standards
WO	Wall Oven Tower	BCA	Building Code of Australia
OHC	Over Head Cupboard	TBC	To Be Confirmed
DW	Dishwasher	DEB	Deep Edge Beam
MW	Microwave	LBW	Load Bearing Wall
B.BAR	Breakfast Bar	RL	Relative Level
FW	Floor Waste	NGL	Natural Ground Level
HWS	Hot Water System	DP	Down Pipe
TAP	Ext. 12mm Hose Cock	SHS	Square Hollow Section

DESIGN LOADS

- All sizes of timber members deduced from AS 1684
- All remaining sizes of items deduced from Australian Domestic Construction Manual or relevant manufacturers specification.
- Sizes of timber members may vary upon ordering requirements but must remain within the guidelines of the said reference material.

MATERIALS AND CONSTRUCTION

AS APPLICABLE - REFER DWG FOR MATERIALS USED.

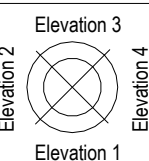
All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

Cover Sheet

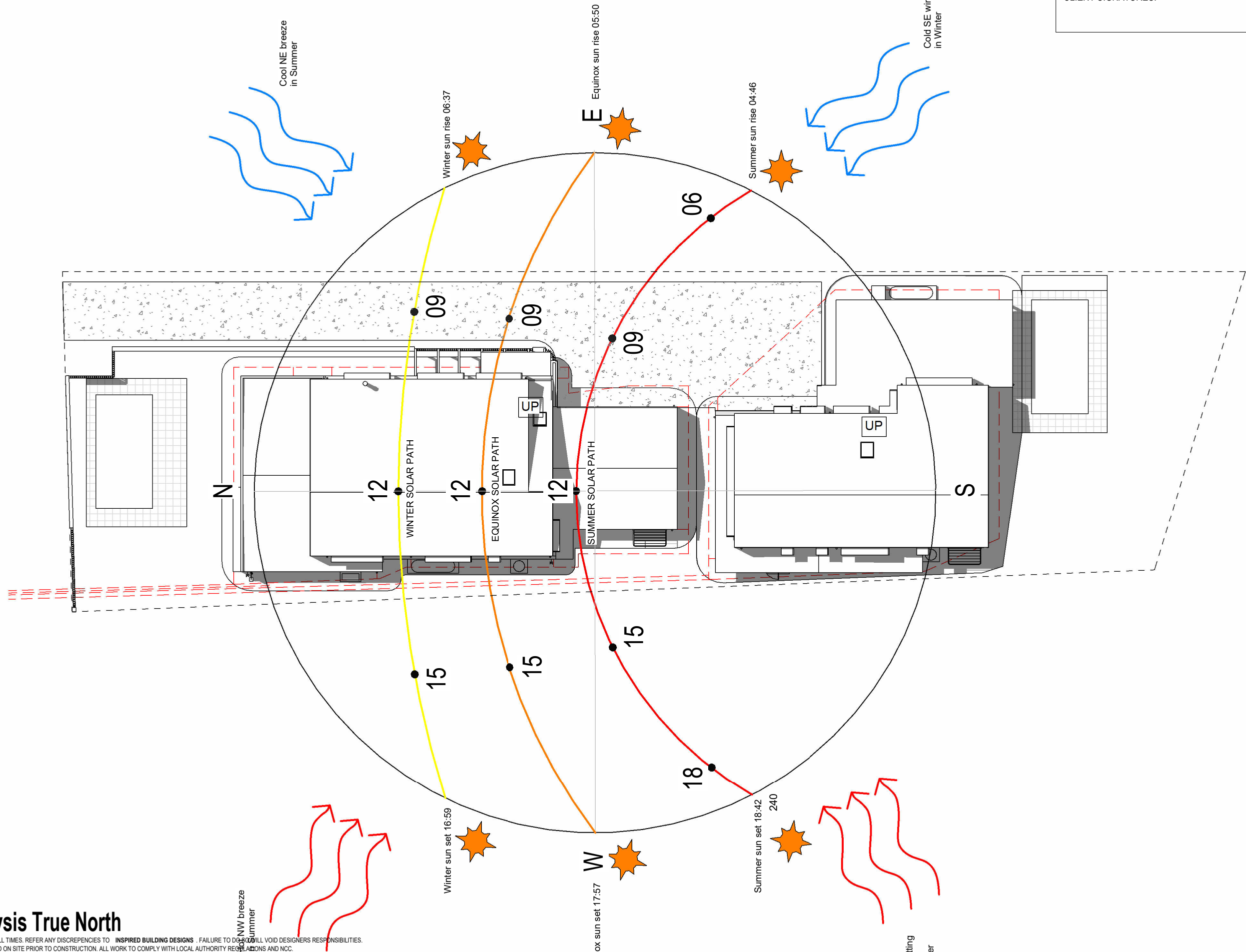
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPENCIES TO INSPIRED BUILDING DESIGNS . FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES.
ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND NCC.

REAL PROPERTY DESCRIPTION	PROJECT ADDRESS:	CLIENT:	BUILDER:	DESIGN:	ISSUE:	ISSUE:	ISSUE:	ISSUE:	ISSUE:	ISSUE:
PLAN NUMBER: DP1273771 LOCAL AUTH: TWEED SHIRE AREA: 1008 m2	LOT 6 #12 KANOOKA CRES, BOGANGAR NSW	J MAGEE + W KELLY	Eco-Essence Homes ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE : 07 5520 0720 WEB: www.ecoessencehomes.com.au	NEW RESIDENCE FACADE: STAGED PLAN: CONTRACT	E	A 17/02/22 PRELIMINARY PLANS ISSUED B 09/03/22 CONTRACT PLANS ISSUED B 05/04/22 CONTRACT PLANS (SITEPLAN UPDATE) B 14/04/22 CONTRACT PLANS (SITEPLAN UPDATE) D 23/05/22 CONTRACT PLANS RE-ISSUED (SEWER PUMP) E 26/04/23 CONTRACT PLANS RE-ISSUED (RFI)				
IBD JOB NO: 0260	DATE: 26/04/2023	DRAWN: BC	CHECKED: BC	SCALE:	DWG NO: 101	A3				

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CLIENT SIGNATURES:



Site Analysis True North

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO INSPIRED BUILDING DESIGNS. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND NCC.

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AREA: 1008 m ²	

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IBD JOB NO: 0260	DATE: 26/04/2023
DRAWN: BC	CHECKED: BC

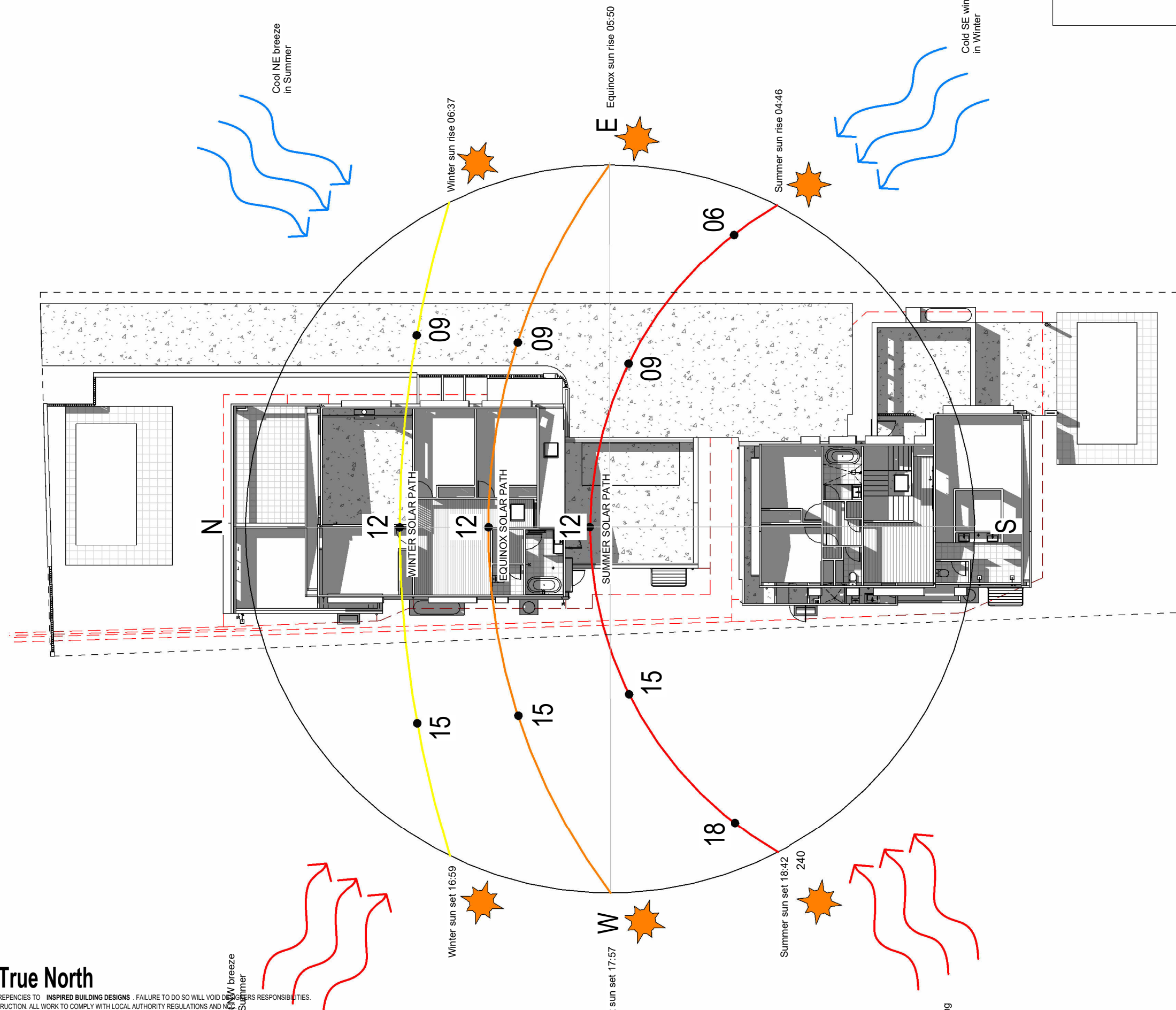
CLIENT:	J MAGEE + W KELLY
BUILDER:	<i>Eco-Essence Homes</i>
ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487	PHONE: 07 5520 0720
WEB: www.ecoessencehomes.com.au	ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578

DESIGN:	NEW RESIDENCE
FACADE:	
STAGED PLAN:	CONTRACT

A 17/02/22 PRELIMINARY PLANS ISSUED
B 09/03/22 CONTRACT PLANS ISSUED
B 05/04/22 CONTRACT PLANS (SITEPLAN UPDATE)
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E 26/04/23 CONTRACT PLANS RE-ISSUED (RFI)

Elevation 2		Elevation 3
Elevation 1		Elevation 4

CLIENT SIGNATURES:



Design Response True North

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 AREA: 1008 m2

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**LOT 6 #12 KANOOKA CRES,
 BOGANGAR NSW**

IBD JOB NO: **0260** DATE: **26/04/2023** DRAWN: **BC** CHECKED: **BC** SCALE: **1 : 200** DWG NO: **105** A3

CLIENT:
J MAGEE + W KELLY

BUILDER:
Eco-Essence Homes
 ADDRESS: 80 Wommin Bay Road,
 Chinderah NSW 2487
 PHONE : 07 5520 0720
 WEB: www.ecoessencehomes.com.au

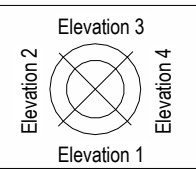
ABN: 16141022371
 NSW LIC: 227643C
 QBCC LIC: 1181578

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NEW RESIDENCE

FACADE:
CONTRACT

ISSUE:
E

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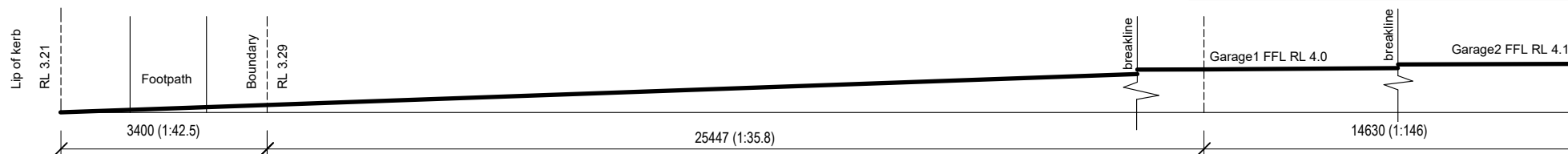
NOTE: STORMWATER DRAINAGE CALCULATED FOR BUILDING ROOF AREAS AND OR PAVED AREAS SHOWN ON THIS PROPOSED DEVELOPMENT ONLY, AND MAY NOT BE ADEQUATE FOR ANY SUBSEQUENT ROOF OR PAVED AREAS.
 MIN 100x75 DOWNPIPES (EACH TO DRAIN MAX 40.00m SQU ROOF AREA) DISCHARGING INTO 100mm S/W DRAINAGE PIPEWORK (EACH RUN CARRYING MAX CAPACITY OF 8 litres/sec) MIN GRADE TO RUBBLE PITS ON SITE TO BE 1%. ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2 & 3.5.2 AS WELL AS ASNZS3500

NOTE: FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.

DISCLAIMER: AS THE SITE LEVELS HAVE BEEN SUPPLIED BY OTHERS WE CANNOT TAKE RESPONSIBILITY FOR THEIR ACCURACY. ALL SITE LEVELS TO BE CHECKED AND CONFIRMED BY BUILDER BEFORE STARTING ANY WORKS.

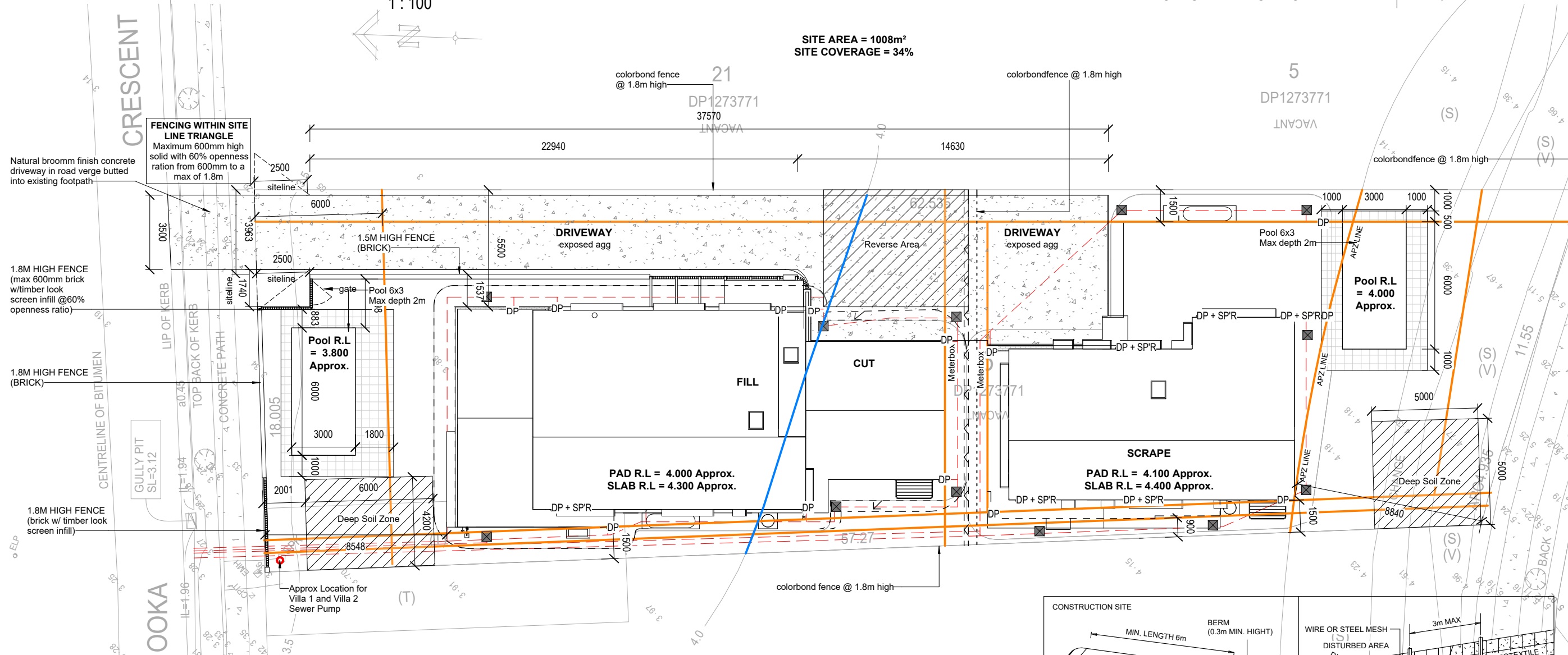
Driveway Section

1 : 100



WIND CLASSIFICATION	'N3'
SOIL CLASSIFICATION	'P/M'

SITE AREA = 1008m²
 SITE COVERAGE = 34%



Site Plan

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IBD JOB NO: 0260	DATE: 26/04/2023
DRAWN: BC	CHECKED: BC
SCALE: As indicated	DWG NO: 201 A3

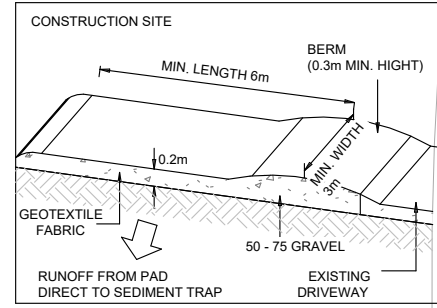
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ISSUE:	E
CONTRACT PLAN:	CONTRACT

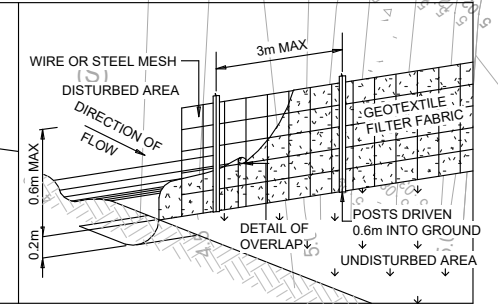
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	E 26/04/23 CONTRACT PLANS RE-ISSUED (RFI)

SITE WORKS

- These plans are to be read in conjunction with any structural and civil engineering design & detail.
- Site to be excavated and or filled to levels shown. Step downs to be excavated 1.0m past actual step down to allow for steel and form works.
 - Footings shall be placed as per slab plan & engineers details.
 - Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
 - Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
 - Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.



TEMPORARY CONSTRUCTION DRIVEWAY (NOT TO SCALE)

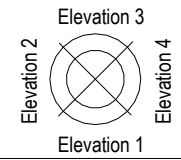


SEDIMENT FENCE (NOT TO SCALE) DRAINAGE AREA 0.6 ha MAX. SLOPE GRADIENT 12 MAX. SLOPE LENGTH 60M MAX

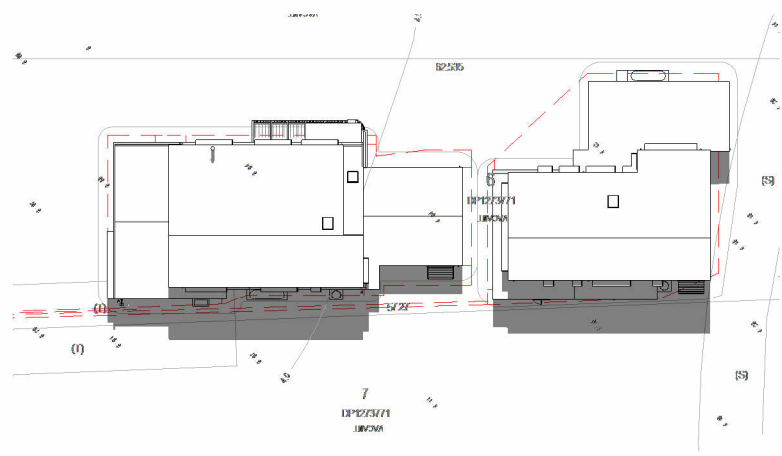
ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE HAZARD AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING

Site Plan

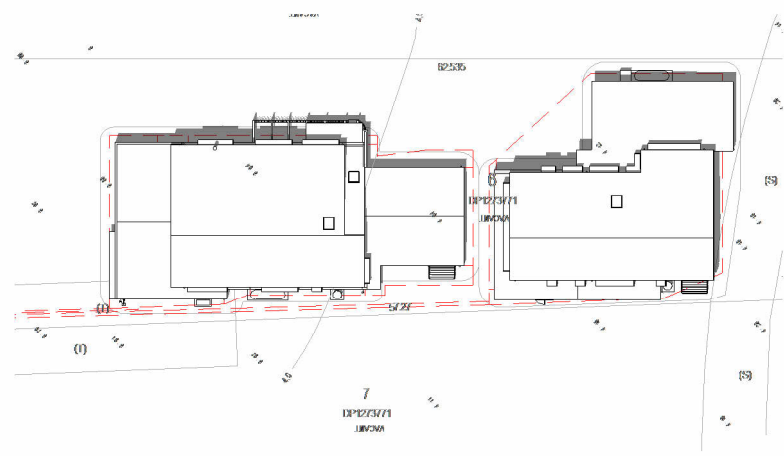
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CLIENT SIGNATURES:



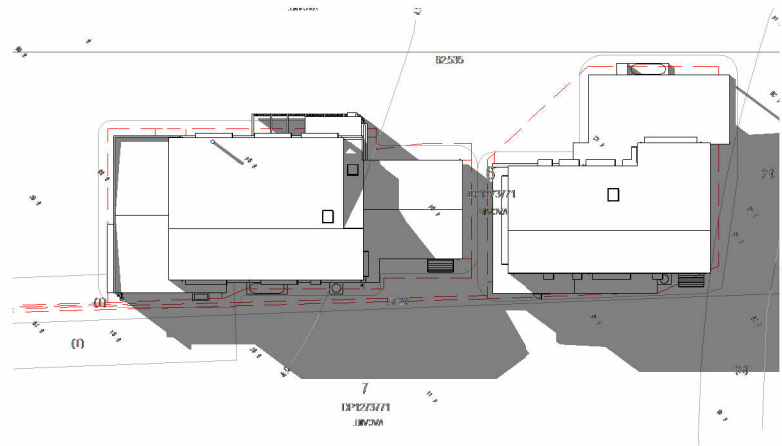
Dec 22nd 9am
1 : 500



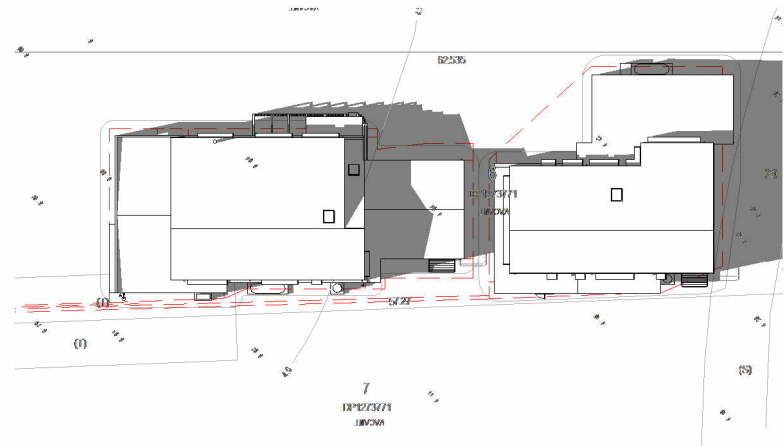
Dec 22nd 12pm
1 : 500



Dec 22nd 3pm
1 : 500



June 22nd 9am
1 : 500



June 22nd 12pm
1 : 500



June 22nd 3pm
1 : 500

Shadow Diagrams

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **INSPIRED BUILDING DESIGNS**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND NCC.

REAL PROPERTY DESCRIPTION		PROJECT ADDRESS:			CLIENT:			BUILDER:		DESIGN:		ISSUE:		A 17/02/22 PRELIMINARY PLANS ISSUED		
PLAN NUMBER: DP1273771		LOT 6 #12 KANOOKA CRES, BOGANGAR NSW			J MAGEE + W KELLY			<i>Eco-Essence Homes</i>		NEW RESIDENCE		E		B 09/03/22 CONTRACT PLANS ISSUED		
LOCAL AUTH: TWEED SHIRE		IBD JOB NO: 0260			DATE: 26/04/2023			ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487		FACADE:		B 05/04/22 CONTRACT PLANS (SITEPLAN UPDATE)		B 14/04/22 CONTRACT PLANS (SITEPLAN UPDATE)		
AREA: 1008 m2		DRAWN: BC			CHECKED: BC			PHONE : 07 5520 0720		STAGED PLAN: CONTRACT		D 23/05/22 CONTRACT PLANS RE-ISSUED (SEWER PUMP)		E 26/04/23 CONTRACT PLANS RE-ISSUED (RFI)		
		SCALE: 1 : 500			DWG NO: 202			WEB: www.ecoessencehomes.com.au		ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578						

NOTES:

- FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.
- LIFT OFF HINGES TO WC DOOR
- SARKING TO EXTERNAL WALLS
- INSULATION TO CEILINGS AS PER SPECIFICATION
- ALL SHOWER ROSES TO BE AAA RATED
- WATER PRESSURE LIMITED TO 500 KPA AT THE METER
- ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED
- PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE
- WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER

HEIGHTS:

- GF - INTERNAL DOORS - 2340H UNO
- GF - WINDOW H.HEIGHT - 2400H UNO
- FF - INTERNAL DOORS - 2040H UNO
- FF - WINDOW H.HEIGHT - 2100H UNO

INSULATION NOTES:

- WALL INSULATION - TO ALL EXTERNAL WALLS EXCLUDING GARAGE WALLS.
- INTERNAL GARAGE WALLS TO BE INSULATED
- CEILING INSULATION (FIRST FLOOR) - AS PER SPEC
- CEILING INSULATION (GROUND FLOOR) - NIL
- ANTICON TO ROOF

CLIENT SIGNATURES:

BRICKLAYERS NOTES:

1. For the most satisfactory result, bricks should be blended from several packs and unpacked down and across each pack onto the project;
2. Substandard, chipped or defective bricks should be rejected by the bricklayer and not laid;
3. Colour matching of mortar should be quality controlled across the project. Provide insitu sample of mortar for client approval;
4. Bricklayers should progressively clean bricks as they go to avoid smear marks over bricks. Sponges should be cleaned regularly and water in buckets replaced regularly.

Area Schedule

FIRSTFLOOR VILLA 1	110.80 m ²
GARAGE VILLA 1	42.48 m ²
GROUND FLOOR VILLA 1	140.84 m ²
TERRACE VILLA 1	24.87 m ²
Grand total	318.98 m ²

Conditioned First Floor	96.36
Conditioned Ground	107.88
Unconditioned First Floor	11.65
Unconditioned Ground	60.19

BAL 19 TO SOUTH, WEST & EAST ELEVATIONS AND ENTIRE ROOF BAL 12.5 TO NORTH ELEVATION

FENCING WITHIN SITE LINE TRIANGLE
Maximum 600mm high solid with 60% openness ratio from 600mm to a max of 1.8m

1.8M HIGH FENCE (max 600mm brick w/timber look screen infill @60% openness ratio)

Approx location for Lockable Common Meterbox
Approx Location for Villa 1 & Villa 2 Sewer Pump

Ground Floor Plan Villa 1

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	IBD JOB NO: 0260 DATE: 26/04/2023 DRAWN: BC CHECKED: BC SCALE: 1:100 DWG NO: 301 A3	THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES					

CLIENT SIGNATURES:

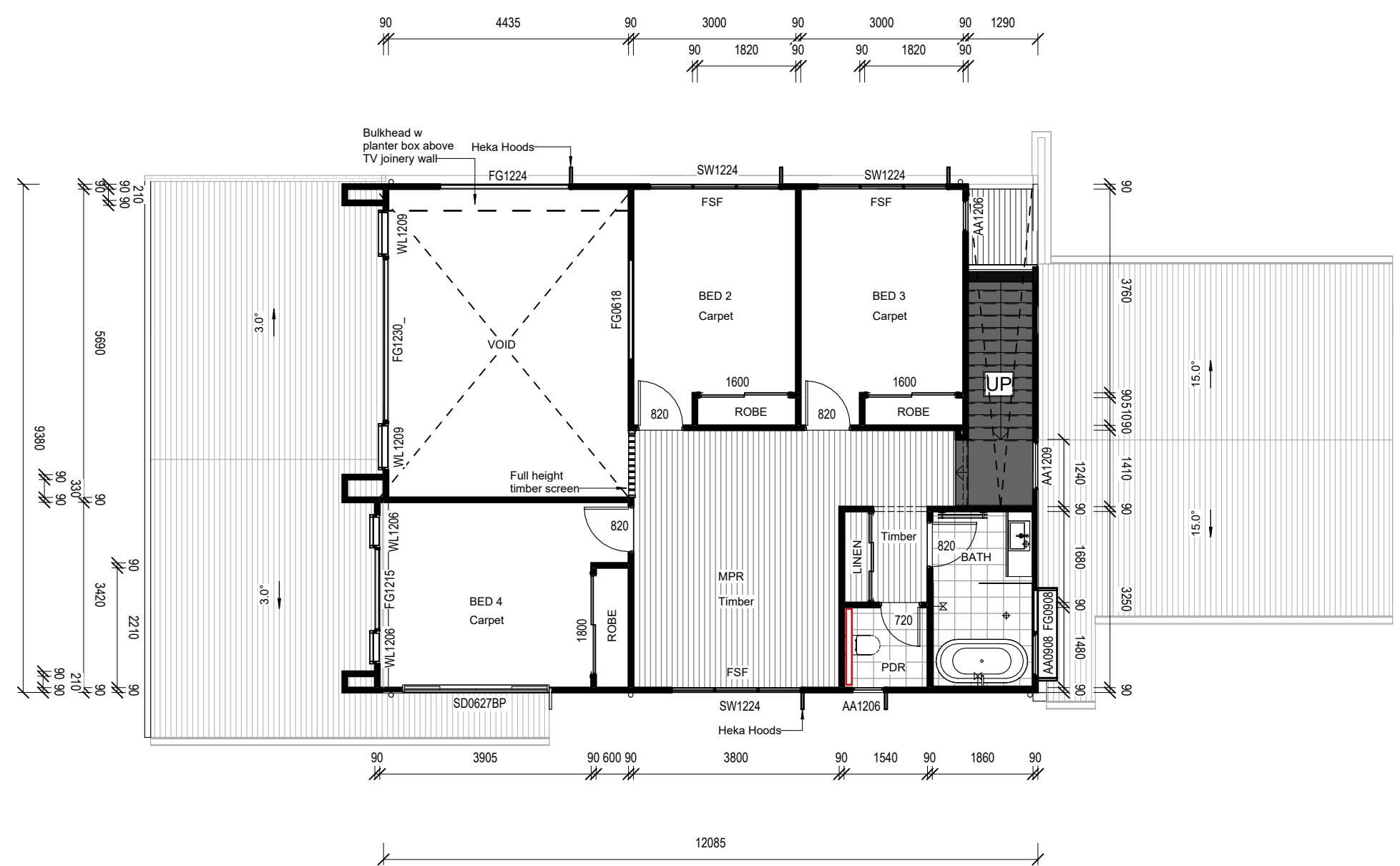
NOTE: THE POSITIONING OF ALL BULKHEADS AND AIR CONDITIONING DUCTING IS TO BE DETERMINED ON SITE. LOCATIONS SHOWN ARE INDICATIVE ONLY. AIR-CON CONDENSER UNIT IN ROOF SPACE. STRENGTHEN ROOF FRAME TO SUIT

PROTECTION OF OPENABLE WINDOWS:
 OPENING WINDOWS IN BEDROOMS AT 2.0m OR MORE ABOVE THE SURFACE BELOW ARE TO BE FITTED WITH EITHER A DEVICE TO RESTRICT THE WINDOW OPENING, OR A SUITABLE SCREEN, SO A 125mm DIAMETER SPHERE CANNOT PASS THROUGH. THE SCREEN OR DEVICE MUST ALSO BE ABLE TO WITHSTAND AN OUTWARD HORIZONTAL FORCE OF 250 N.

-AWNING WINDOWS TO HAVE SHORT CHAIN WINDERS TO RESTRICT OPENING
 -SLIDING WINDOWS TO HAVE KEY LOCKS TO RESTRICT OPENING

INSULATION NOTES:

- WALL INSULATION - TO ALL EXTERNAL WALLS EXCLUDING GARAGE
- INTERNAL GARAGE WALLS TO BE INSULATED
- CEILING INSULATION (FIRST FLOOR) - AS PER SPEC
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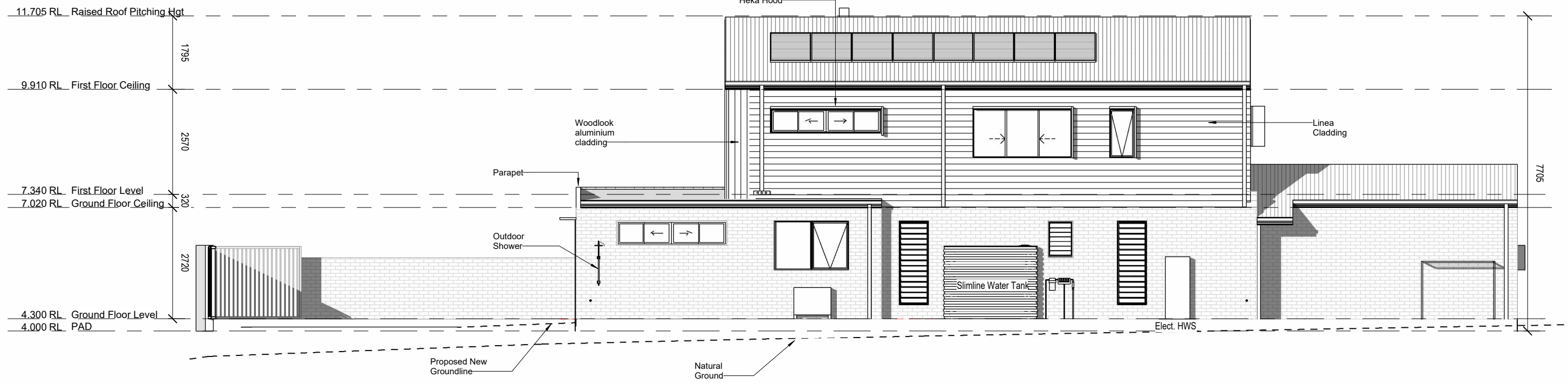
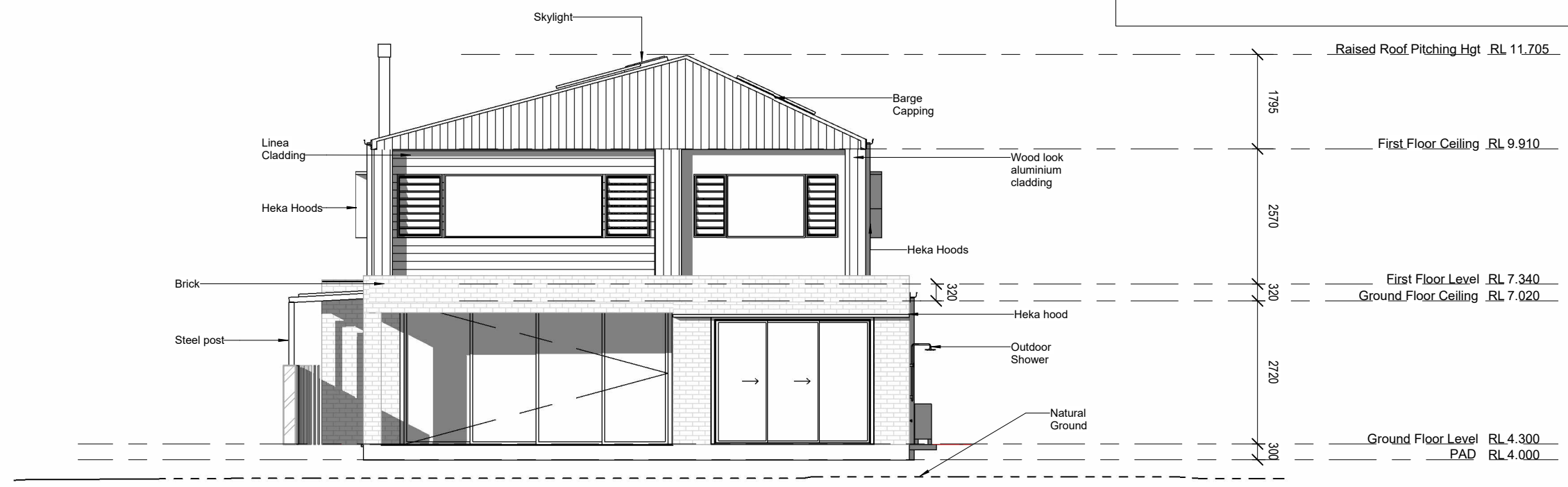
First Floor Plan Villa 1

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REAL PROPERTY DESCRIPTION PLAN NUMBER: DP1273771 LOCAL AUTH: TWEED SHIRE AREA: 1008 m ²	PROJECT ADDRESS: LOT 6 #12 KANOOKA CRES, BOGANGAR NSW	CLIENT: J MAGEE + W KELLY	BUILDER: <i>Eco-Essence Homes</i> ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE: 07 5520 0720 WEB: www.ecoessencehomes.com.au	DESIGN: NEW RESIDENCE FACADE: STAGED PLAN: CONTRACT	ISSUE: E	A 17/02/22 PRELIMINARY PLANS ISSUED B 09/03/22 CONTRACT PLANS ISSUED B 05/04/22 CONTRACT PLANS (SITEPLAN UPDATE) B 14/04/22 CONTRACT PLANS (SITEPLAN UPDATE) D 23/05/22 CONTRACT PLANS RE-ISSUED (SEWER PUMP) E 26/04/23 CONTRACT PLANS RE-ISSUED (RFI)	Elevation 2 Elevation 3 Elevation 4 Elevation 1
	IBD JOB NO: 0260 DATE: 26/04/2023 DRAWN: BC CHECKED: BC SCALE: 1:100 DWG NO: 302 A3	THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES					

CLIENT SIGNATURES:

NOTE: ALL WINDOWS + DOORS IN CLADDIED WALLS TO HAVE 89x38 HARDIES AXENT TRIMS TO PERIMETER.



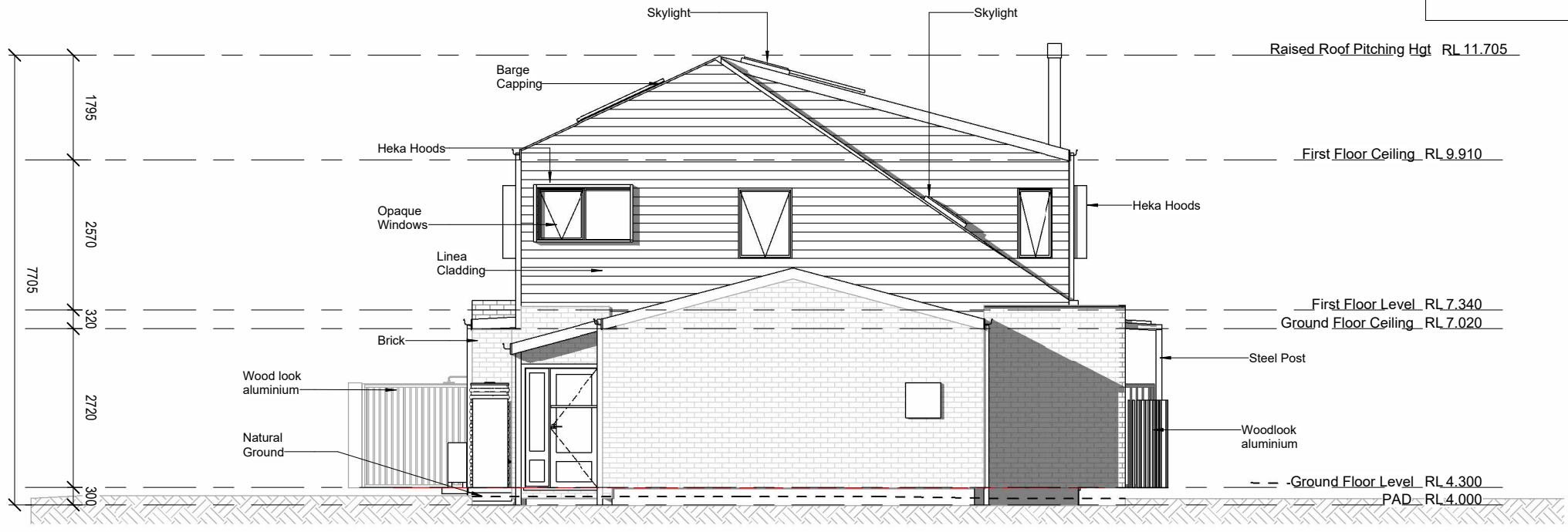
Elevation 4 (West)
1 : 100

Elevations Villa 1

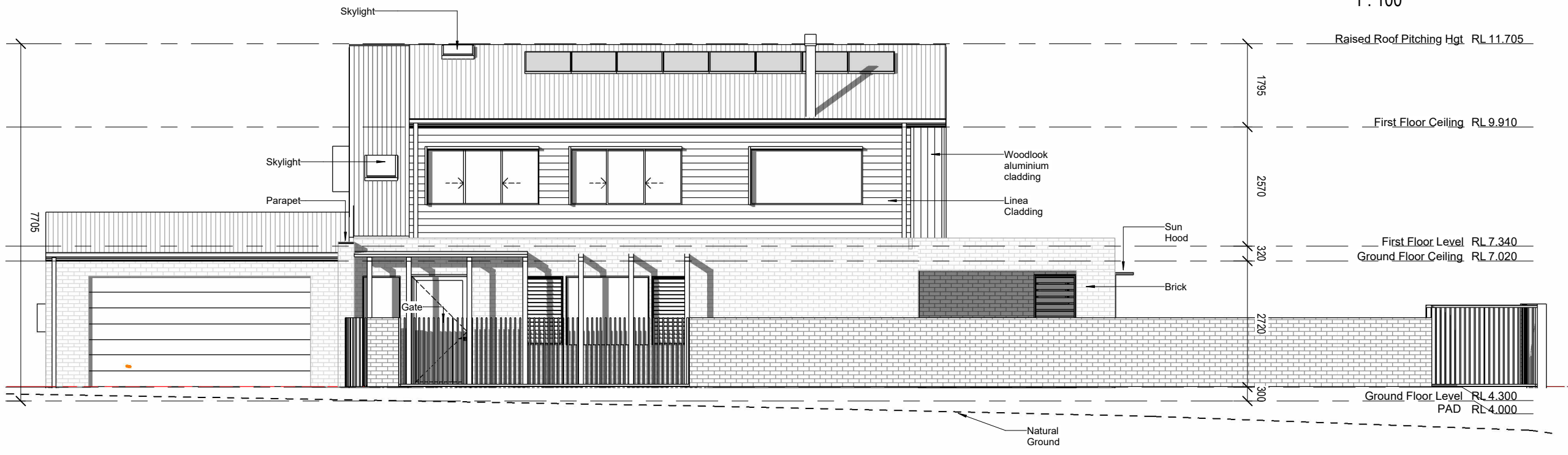
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **INSPIRED BUILDING DESIGNS**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND NCC.

REAL PROPERTY DESCRIPTION		PROJECT ADDRESS: LOT 6 #12 KANOOKA CRES, BOGANGAR NSW		CLIENT: J MAGEE + W KELLY		BUILDER: <i>Eco-Essence Homes</i>		DESIGN: NEW RESIDENCE		ISSUE: E		A 17/02/22 PRELIMINARY PLANS ISSUED B 09/03/22 CONTRACT PLANS ISSUED B 05/04/22 CONTRACT PLANS (SITEPLAN UPDATE) B 14/04/22 CONTRACT PLANS (SITEPLAN UPDATE) D 23/05/22 CONTRACT PLANS RE-ISSUED (SEWER PUMP) E 26/04/23 CONTRACT PLANS RE-ISSUED (RFI)		Elevation 3 Elevation 2 Elevation 4 Elevation 1		
PLAN NUMBER: DP1273771		LOCAL AUTH: TWEED SHIRE		AREA: 1008 m2		ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE : 07 5520 0720 WEB: www.ecoessencehomes.com.au		ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578		STAGED PLAN: CONTRACT						
IBD JOB NO:	0260	DATE:	26/04/2023	DRAWN:	BC	CHECKED:	BC	SCALE:	1 : 100	DWG NO:	303	A3				

NOTE: ALL WINDOWS + DOORS IN CLADDED WALLS TO HAVE 89x38 HARDIES AXENT TRIMS TO PERIMETER.



Elevation 1 (South)
1 : 100



Elevation 2 (East)
1 : 100

Elevations Villa 1

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO INSPIRED BUILDING DESIGNS. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND NCC.

REAL PROPERTY DESCRIPTION	
PLAN NUMBER: DP1273771	LOCAL AUTH: TWEED SHIRE
AREA: 1008 m ²	

PROJECT ADDRESS: LOT 6 #12 KANOOKA CRES, BOGANGAR NSW	
IBD JOB NO: 0260	DATE: 26/04/2023
DRAWN: BC	CHECKED: BC

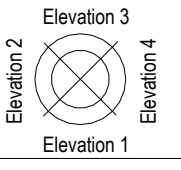
CLIENT: J MAGEE + W KELLY
SCALE: 1 : 100
DWG NO: 304
A3

BUILDER: <i>Eco-Essence Homes</i>
ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487
PHONE : 07 5520 0720
WEB: www.ecoessencehomes.com.au
ABN: 16141022371
NSW LIC: 227643C
QBCC LIC: 1181578

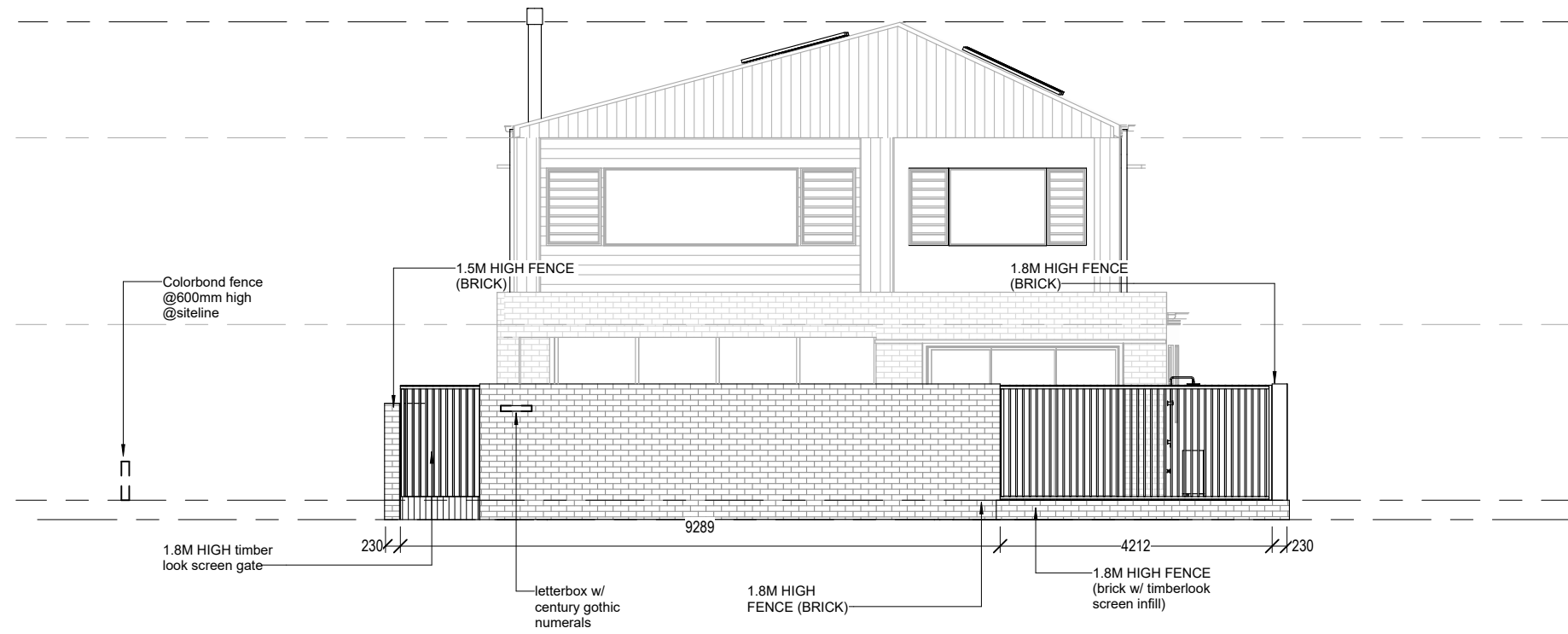
DESIGN: NEW RESIDENCE
FACADE:
STAGED PLAN: CONTRACT

ISSUE: E

A 17/02/22 PRELIMINARY PLANS ISSUED
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B 14/04/22 CONTRACT PLANS (SITEPLAN UPDATE)
D 23/05/22 CONTRACT PLANS RE-ISSUED (SEWER PUMP)
E 26/04/23 CONTRACT PLANS RE-ISSUED (RFI)



CLIENT SIGNATURES:



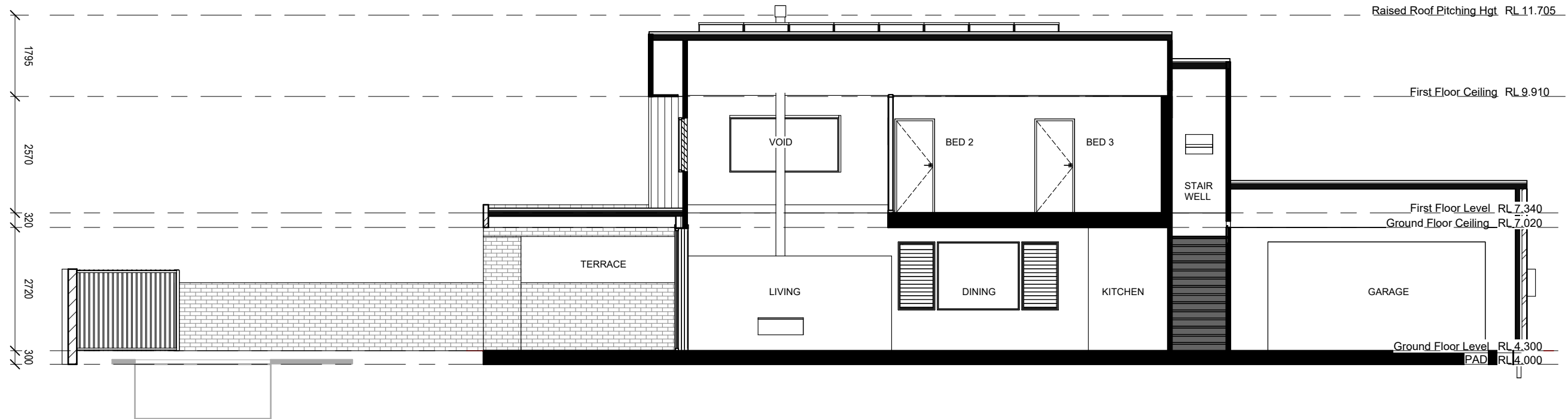
Front Fence Elevation

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **INSPIRED BUILDING DESIGNS**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND NCC.

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	IBD JOB NO: 0260	DATE: 26/04/2023	DRAWN: BC	CHECKED: BC	SCALE: 1 : 100	DWG NO: 304.2	A3	ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578					

CLIENT SIGNATURES:

- NOTES:**
- SELECTED ROOF FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ROOF BATTENS FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ROOF TRUSSES TO MANUFACTURERS SPECIFICATION
 - BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ALL TIMBER SIZES TO CONFORM WITH NCC STANDARDS
 - SLAB & FOOTINGS TO ENGINEERS DETAIL
 - FLOORING MEMBERS TO ENGINEERS/MANUFACTURERS DETAIL



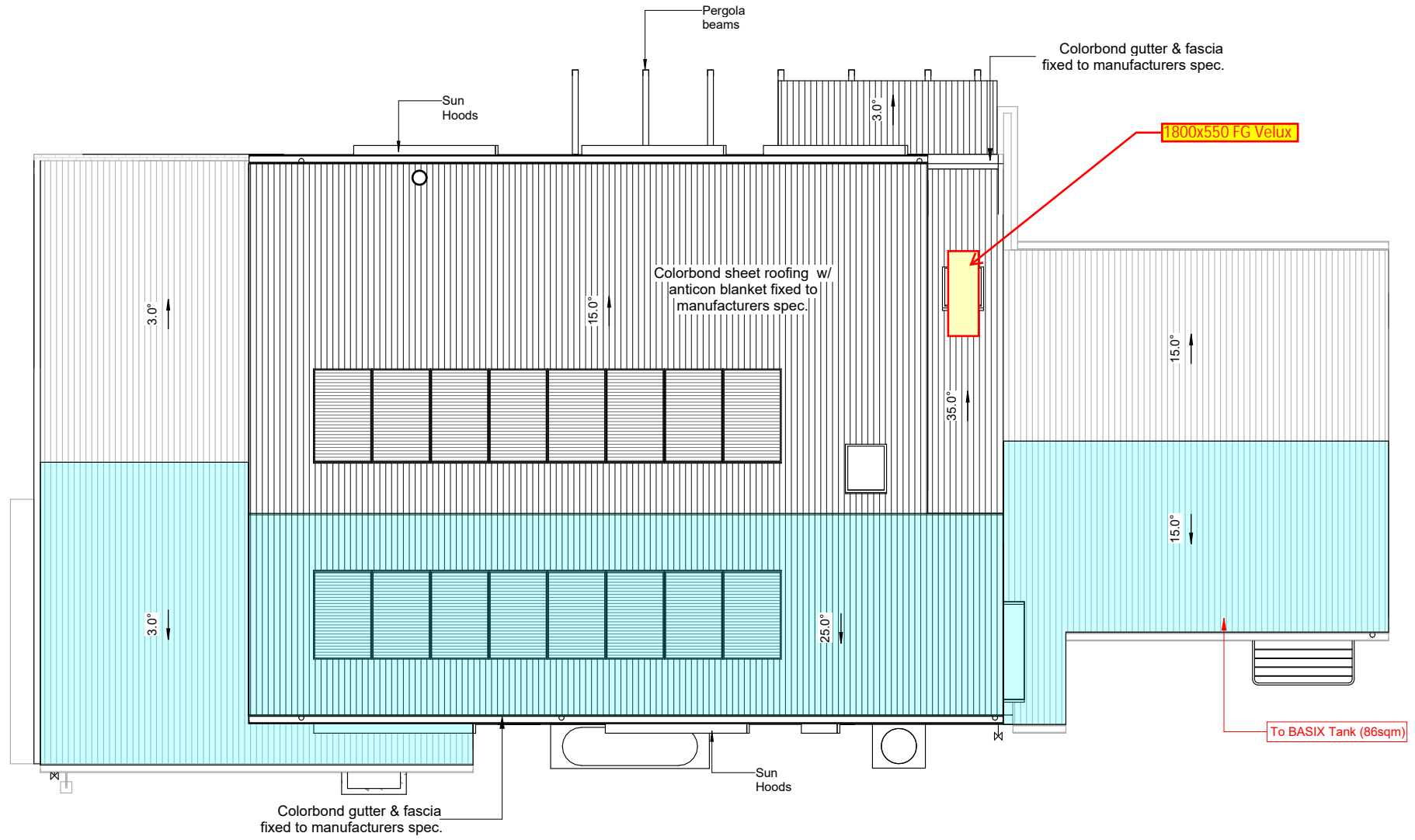
Section

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **INSPIRED BUILDING DESIGNS**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND NCC.

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	IBD JOB NO: 0260	DATE: 26/04/2023	DRAWN: BC	CHECKED: BC	SCALE: 1 : 100	DWG NO: 305	A3	ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578									

CLIENT SIGNATURES:

Main Roof Schedule	
Type	Area
COLORBOND SHEET ROOF	221.273M2



Upper Roof Plan Villa 1

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REAL PROPERTY DESCRIPTION
PLAN NUMBER: DP1273771
LOCAL AUTH: TWEED SHIRE
AREA: 1008 m2

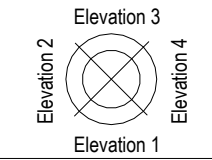
PROJECT ADDRESS: LOT 6 #12 KANOOKA CRES, BOGANGAR NSW
CLIENT: J MAGEE + W KELLY
IBD JOB NO: 0260 DATE: 26/04/2023 DRAWN: BC CHECKED: BC SCALE: 1:100 DWG NO: 311 A3

BUILDER: <i>Eco-Essence Homes</i>
ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE: 07 5520 0720 WEB: www.ecoessencehomes.com.au
ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578

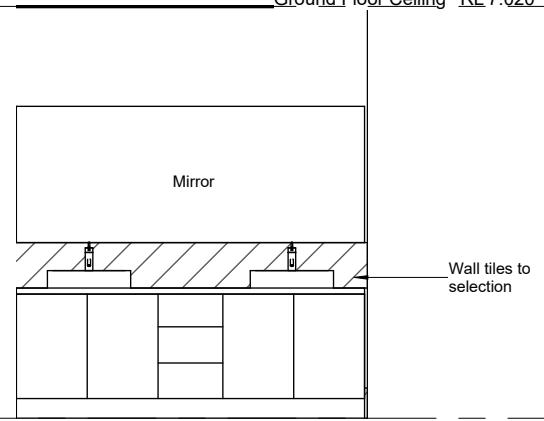
DESIGN: NEW RESIDENCE
FACADE:
STAGED PLAN: CONTRACT

ISSUE: E

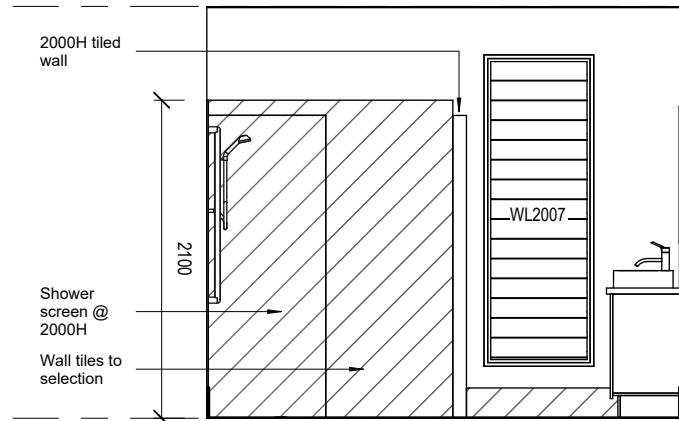
A 17/02/22 PRELIMINARY PLANS ISSUED
B 09/03/22 CONTRACT PLANS ISSUED
B 05/04/22 CONTRACT PLANS (SITEPLAN UPDATE)
B 14/04/22 CONTRACT PLANS (SITEPLAN UPDATE)
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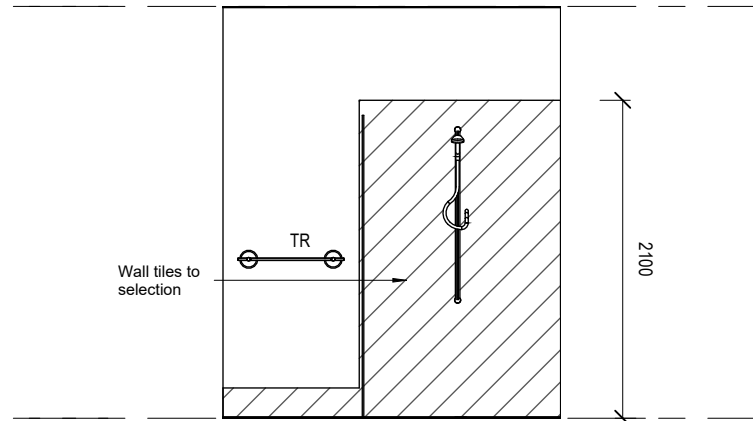
Ground Floor Ceiling RL 7.020



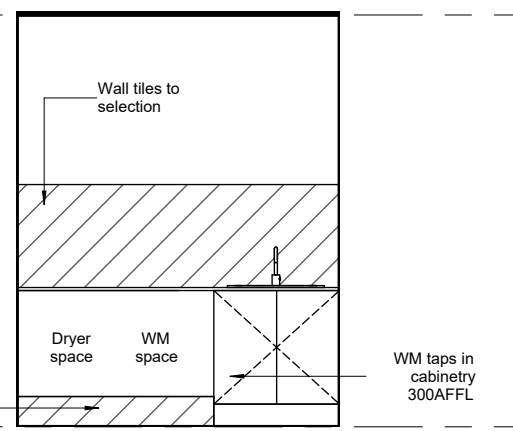
ENS 1
1 : 50



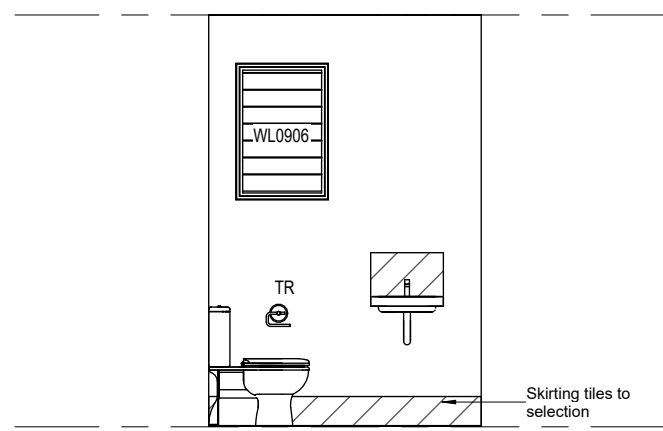
ENS 2
1 : 50



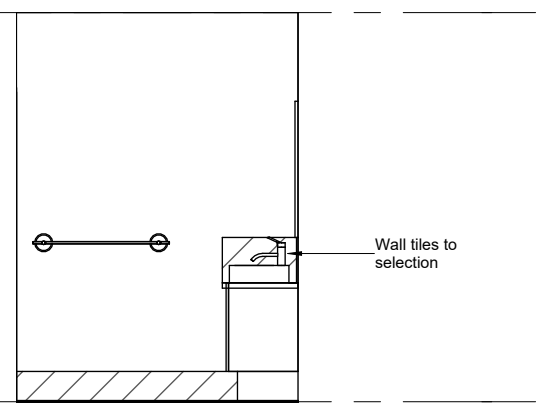
ENS 3
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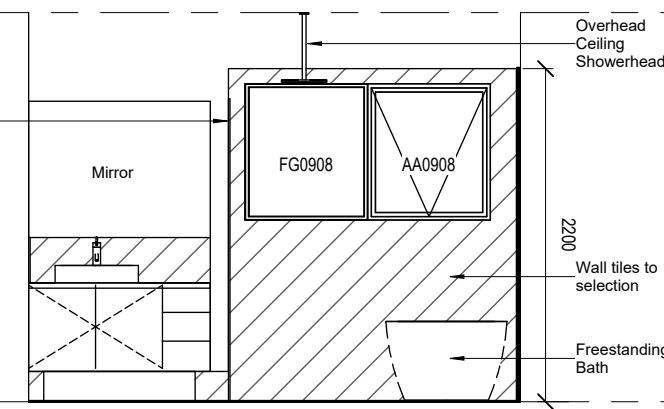
LDRY
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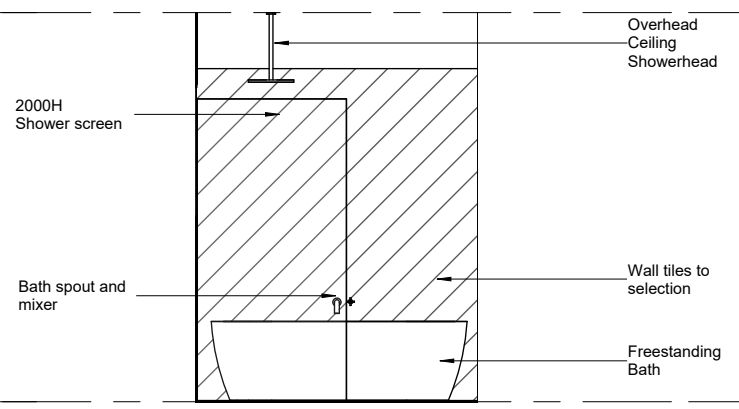
PDR
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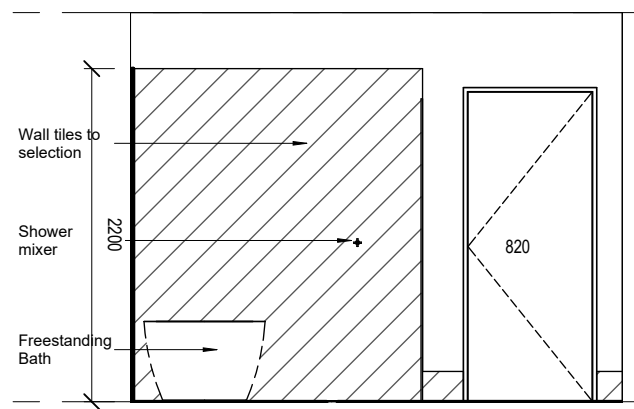
BATH 1
1 : 50



BATH 2
1 : 50



BATH 3
1 : 50

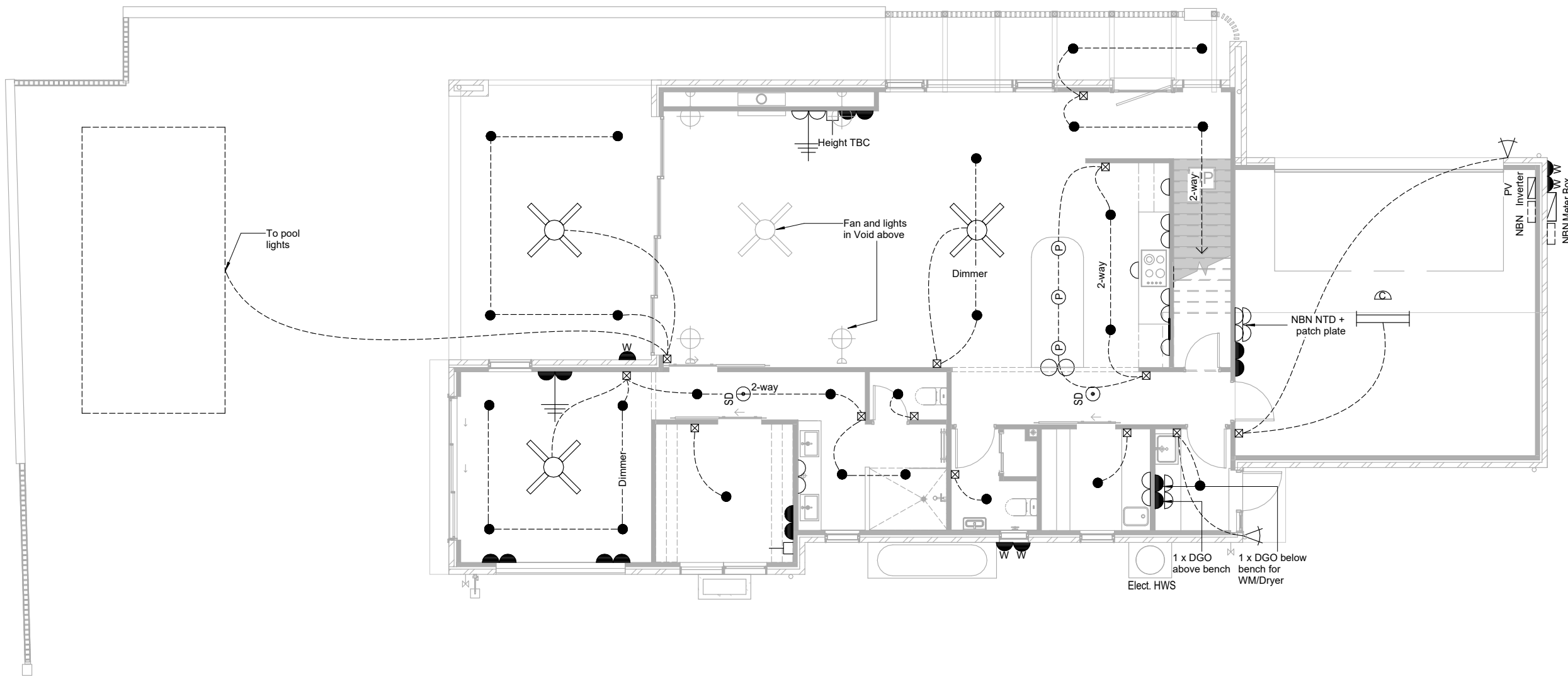































BATH 4
1 : 50

Internal Elevations

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO INSPIRED BUILDING DESIGNS. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

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	DWG NO: 701	SCALE: 1 : 50	DATE: 26/04/2023	DRAWN: BC	CHECKED: BC	JOB NO: 0260		THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © I NSPIRED BUILDING DESIGNS	
								B 05/04/22 CONTRACT PLANS (SITEPLAN UPDATE)	
								B 14/04/22 CONTRACT PLANS (SITEPLAN UPDATE)	
								D 23/05/22 CONTRACT PLANS RE-ISSUED (SEWER PUMP)	
								E 26/04/23 CONTRACT PLANS RE-ISSUED (RFI)	




-  CEILING FAN
-  CEILING FANLIGHT
-  CEILING LIGHT
-  RECESSED DOWNLIGHT
-  LED SQUARE DOWNLIGHT
-  50mm LOW VOLTAGE DOWNLIGHT
-  PENDANT LIGHT
-  FLOURESCENT CEILING LIGHT
-  DOUBLE FLOURESCENT
-  SINGLE FLOURESCENT
-  FLOOD LIGHT
-  WALL LIGHT (1800 AFFL)
-  BATTEN POINT FOR TRACK LIGHTING
-  ELECTRICAL WIRING LINE
-  SWITCH LIGHT
-  DIMMER LIGHT SWITCH
-  PHONE POINT (300 AFFL)
-  DATA POINT
-  TELEVISION POINT (300 AFFL)
-  EXHAUST FAN
-  SINGLE GPO (300 AFFL)
-  DOUBLE GPO (300 AFFL)
-  SINGLE GPO (refer to notes)
-  DOUBLE GPO (refer to notes)
-  WATERPROOF GPO
-  CEILING MOUNTED GPO
-  JUNCTION BOX
-  INTERCOM
-  ALARM

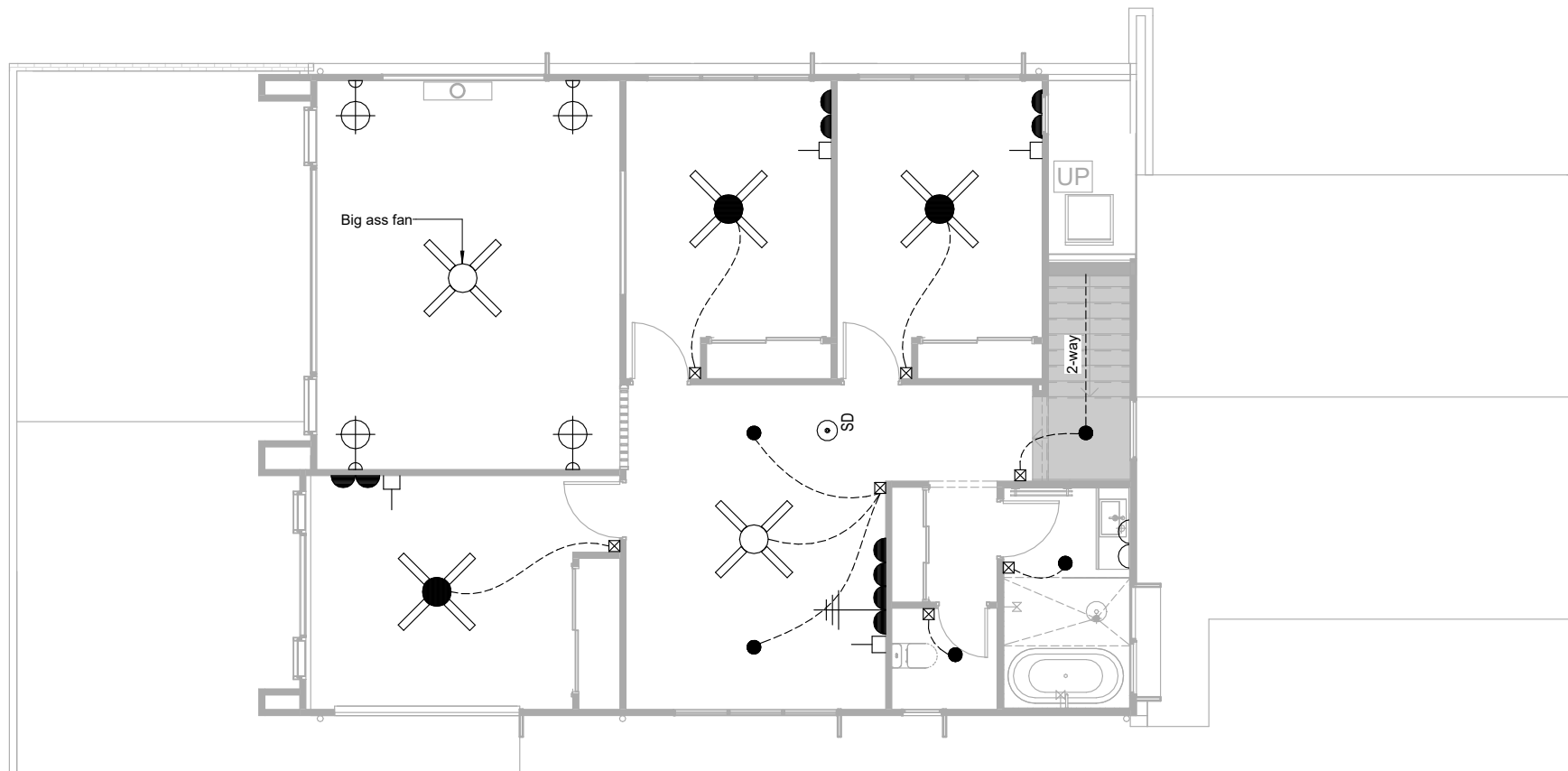
NOTE* - STANDARD HEIGHTS AFFL UNO.
 - KITCHEN BENCH DGPO 1100
 - MICROWAVE 1550
 - RANGEHOOD 1900
 - LAUNDRY 1350
 - BATHROOM 950
 - LIGHT SWITCHES 1350
 - DISHWASHER 600
 - FRIDGE 1550
 - WALL LIGHTS 1800
 - MICROWAVE UNDER BENCH 600











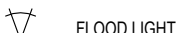

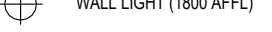
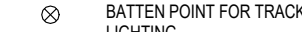







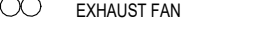
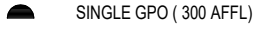


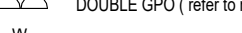

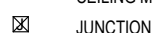

80% MIN. ENERGY EFFICIENT LIGHTING AS PER QDC GUIDELINES. ELECTRICAL LAYOUT TO BE CONFIRMED ON SITE BY CLIENT WITH ELECTRICIAN

Electrical Plan - Ground Floor

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **INSPIRED BUILDING DESIGNS**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

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DWG NO: 801 SCALE: 1 : 100 DATE: 26/04/2023		DRAWN: BC CHECKED: BC JOB NO: 0260		THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © I NSPIRED BUILDING DESIGNS A3		




-  CEILING FAN
-  CEILING FAN/LIGHT
-  CEILING LIGHT
-  RECESSED DOWNLIGHT
-  LED SQUARE DOWNLIGHT
-  50mm LOW VOLTAGE DOWNLIGHT
-  PENDANT LIGHT
-  FLOURESCENT CEILING LIGHT
-  DOUBLE FLOURESCENT
-  SINGLE FLOURESCENT
-  FLOOD LIGHT
-  WALL LIGHT (1800 AFFL)
-  BATTEN POINT FOR TRACK LIGHTING
-  ELECTRICAL WIRING LINE
-  SWITCH LIGHT
-  DIMMER LIGHT SWITCH
-  PHONE POINT (300 AFFL)
-  DATA POINT
-  TELEVISION POINT (300 AFFL)
-  EXHAUST FAN
-  SINGLE GPO (300 AFFL)
-  DOUBLE GPO (300 AFFL)
-  SINGLE GPO (refer to notes)
-  DOUBLE GPO (refer to notes)
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-  CEILING MOUNTED GPO
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NOTE* - STANDARD HEIGHTS AFFL UNO.
 - KITCHEN BENCH DGPO 1100
 - MICROWAVE 1550
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 - LAUNDRY 1350
 - BATHROOM 950
 - LIGHT SWITCHES 1350
 - DISHWASHER 600
 - FRIDGE 1550
 - WALL LIGHTS 1800
 - MICROWAVE UNDER BENCH 600

80% MIN. ENERGY EFFICIENT LIGHTING AS PER QDC GUIDELINES. ELECTRICAL LAYOUT TO BE CONFIRMED ON SITE BY CLIENT WITH ELECTRICIAN

Electrical Plan - First Floor

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **INSPIRED BUILDING DESIGNS**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

REAL PROPERTY DESCRIPTION PLAN NUMBER: DP1273771 LOCAL AUTH: TWEED SHIRE AREA: 1008 m2	PROJECT ADDRESS: LOT 6 #12 KANOOKA CRES, BOGANGAR NSW	CLIENT: J MAGEE + W KELLY BUILDER:	PROJECT: NEW RESIDENCE STAGED PLAN: CONTRACT	ISSUE: <div style="font-size: 2em; font-weight: bold; text-align: center;">E</div>	A 17/02/22 PRELIMINARY PLANS ISSUED B 09/03/22 CONTRACT PLANS ISSUED B 05/04/22 CONTRACT PLANS (SITEPLAN UPDATE) B 14/04/22 CONTRACT PLANS (SITEPLAN UPDATE) D 23/05/22 CONTRACT PLANS RE-ISSUED (SEWER PUMP) E 26/04/23 CONTRACT PLANS RE-ISSUED (RFI)	Elevation 3  Elevation 1
DWG NO: 802 SCALE: 1 : 100 DATE: 26/04/2023		DRAWN: BC CHECKED: BC JOB NO: 0260		THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © I INSPIRED BUILDING DESIGNS A3		

Multi Dwelling

Certificate number: 1289269M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 23 May 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Lot6Kanooka	
Street address	12 Kanooka Crescent BOGANGAR 2488	
Local Government Area	Tweed Shire Council	
Plan type and plan number	deposited 1273771	
Lot no.	6	
Section no.	-	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	2	
No. of single dwelling houses	0	
Project score		
Water	✓ 43	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 100	Target 50

Certificate Prepared by	
Name / Company Name:	Eco Essence Homes
ABN (if applicable):	16141022371

Description of project

Project address	
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Plan type and plan number	deposited 1273771
Lot no.	6
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0
Site details	
Site area (m ²)	1008
Roof area (m ²)	339.81
Non-residential floor area (m ²)	0.0
Residential car spaces	4
Non-residential car spaces	0

Common area landscape		
Common area lawn (m ²)	0.0	
Common area garden (m ²)	0.0	
Area of indigenous or low water use species (m ²)	0.0	
Assessor details		
Assessor number	HERA10135	
Certificate number	0007157688-01	
Climate zone	10	
Ceiling fan in at least one bedroom	Yes	
Ceiling fan in at least one living room or other conditioned area	Yes	
Project score		
Water	✓ 43	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 100	Target 50

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	Min. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)	Dwelling no.	Min. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	4 or more bedrooms	185.0	16.0	130.0	0.0	2	4 or more bedrooms	162.0	21.0	165.0	0.0

Schedule of BASIX commitments

- Commitments for multi-dwelling houses
 - Dwellings
 - Water
 - Energy
 - Thermal Comfort
- Commitments for single dwelling houses
- Commitments for common areas and central systems/facilities for the development (non-building specific)
 - Water
 - Energy

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	DWG NO: 902	SCALE:	DATE: 26/04/2023	DRAWN: BC	CHECKED: BC		JOB NO: 0260

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool			Individual spa			
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	4 star	4 star	5 star	no	-	-	21.0	no	outdoors	no	0.0	no	no

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
1	individual water tank (no. 1)	Tank size (min) 3000.0 litres	To collect run-off from at least: 80.0 square metres of roof area;	yes	yes	yes	yes	no
All other dwellings	individual water tank (no. 2)	Tank size (min) 3000.0 litres	To collect run-off from at least: 80.0 square metres of roof area; 0.0 square metres of impervious area; 0.0 square metres of garden and lawn area; and 0.0 square metres of planter box area.	yes	yes	yes	yes	no

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	✓
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Dwelling no.	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
1	electric heat pump - air sourced 21 to 25 STCs	individual fan, ducted to façade or roof	interlocked to light	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-
All other dwellings	electric heat pump - air sourced 21 to 25 STCs	no mechanical ventilation (ie. natural)	-	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-

Dwelling no.	Cooling		Heating		Artificial lighting					Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	1-phase airconditioning EER 3.0 - 3.5	1-phase airconditioning EER 3.0 - 3.5	1-phase airconditioning EER 3.5 - 4.0	1-phase airconditioning EER 3.5 - 4.0	4	3	yes	yes	yes	yes	5	no

Dwelling no.	Individual pool	Individual spa		Appliances & other efficiency measures								
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	no heating	yes	-	-	induction cooktop & electric oven	-	no	-	-	-	no	yes

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	6.66

BASIX 02

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DWG NO: 903	SCALE:	DATE: 26/04/2023	DRAWN: BC	CHECKED: BC	JOB NO: 0260	THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © I NSPIRED BUILDING DESIGNS	A3

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:	✓	✓	✓
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or			
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate.	✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

Thermal loads		
Dwelling no.	Area adjusted heating load (in MJ/m ² /yr)	Area adjusted cooling load (in MJ/m ² /yr)
1	16.3	18.7
All other dwellings	12.7	27.1

Dwelling no.	Construction of floors and walls				
	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
1	153	-	-	-	No
All other dwellings	149	-	-	32	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

- In these commitments, "applicant" means the person carrying out the development.
- The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
- This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
- If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
- If a star or other rating is specified in a commitment, this is a minimum rating.
- All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

- Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
- Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
- Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

BASIX 03

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	DWG NO: 904 SCALE:	DATE: 26/04/2023 DRAWN: BC CHECKED: BC JOB NO: 0260	THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © I NSPIRED BUILDING DESIGNS	A3		