

CLIENT SIGNATURES:

TILED DECKS:

Tiled decks over livable areas are to be, in the following order over the floor joists - 19mm compressed FC sheet, with one layer of parchem emerproof 750 with a second layer of sand seed with a DFT of 1300 micron, installed to manuf. specifications, and floor tiles over, all corners to have 20mm mastic sealant under parchem emerproof 720

SAFTEY GLAZING TO BE USED IN THE FOLLOWING CASES:

a. All rooms - within 500mm vertical of the floor
b. Bathrooms within 1500mm vertical of the floors
c. Fully glazed doors
d. Shower screens
e. Within 300mm of a door and <1200mm above floor level
f. window sizes are nominal only, actual sizes will vary with manufacturer, flashing all round

- GENERAL NOTES:**
- All dimensions in millimetres.
 - Dimensions take preference to scale and are to structure not finish.
 - Check and verify dimensions and confirm any existing dimensions marked.
 - Work shall comply with the National Construction Code and all relevant current Australian Standards. Any outdated Standards listed in these notes are to be taken to refer to the current edition.
 - Manufacturers specification means a current approved specification for use under the conditions applicable.
UNO = Unless Noted Otherwise.
DPC = Damp Proof Course.
OMP = Outer Most Point.
 - It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services

- SITE WORKS**
- Site to be excavated and or filled to levels shown.
 - Footings shall be placed as per builders spec or engineers details.
 - Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
 - Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
 - Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.
- POOL FENCING**
- All pool fencing shall be a min. 1200mm high and inaccordance with AS 1926.1
- RETAINING WALLS**
- All retaining walls are to comply with Council policy on retaining walls and embankments on residential building sites.
 - Position of retaining walls may vary and must be verified by builder prior to commencement.
 - Any variation at construction stage to comply with Council policy.
- These plans are to be read in conjunction with any structural and civil engineering computations and drawings**
- All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections
- Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

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All works shall comply with but not limited to the National Construction Code and the australian standards listed below.

AS 1288 - 2006 GLASS IN BUILDINGS SELECTION AND INSTALLATION

AS 1562 - 2006 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING

AS 1684 - 2010 NATIONAL TIMBER FRAMING CODE

AS 2049 - 2002 ROOF TILES

AS 2050 - 2002 INSTALLATION OF ROOF TILES

AS 2870 - 2011 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION

AS /NZS 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS

AS 3600 - 2009 CONCRETE STRUCTURES

AS 3660 - 2000 BARRIERS FOR SUBTERRANEAN TERMITES

AS 3700 - 2011 MASONRY STRUCTURES

AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

AS 4055 - 2006 WIND LOADING FOR HOUSES

AS 4100 - 1998 STEEL STUCTURES

STAIR REQUIREMENTS

Min. tread 240mm, Min.riser 115mm, Max. riser 190mm. Space between open treads Max. 125mm. Treads to be a non slip surface. Balustrades : min. 1000mm above landings with max. opening of 125mm and in accordanced with NCC 3.9.1. For stainless steel balustrade, refer to table 3.9.2.1 (Wire balustrade construction - required wire tension and maximum permissible deflection) of the NCC

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BLOCKWORK

- AS PER ENGINEERS DETAILS

BRICKWORK

- Brickwork to conform to AS 3700 2011 Masonry in buildings
- Walls to have a continuous cavity kept clear of mortar droppings.
- Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external wall. (Approx. 1 brick sized vent every 2 metres.)
- Provide wall ties at 600mm spacings both vertical and horizontal and within 300mm of articulation joints. Brick ties to be galvanised.

STEELWORK

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 2010 National timber framing code

WET AREA SURFACES

- Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- All wet areas to comply with NCC 3.8.1 and AS 3740. Splashbacks shall be impervious for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.

LEGEND			
WIR	Walk in Robe	SD	Ionisation Smoke Alarm
L'DRY	Laundry	LB	Load Bearing
ENS	Ensuite	CJ	Construction Joint
PWD	Powder Room	AHD	Australian Height Datum
BRM	Broom Cupboard	FFL	Finished Floor Level
UBO	Under Bench Oven	AS	Australian Standards
WO	Wall Oven Tower	BCA	Building Code of Australia
OHC	Over Head Cupboard	TBC	To Be Confirmed
DW	Dishwasher	DEB	Deep Edge Beam
MW	Microwave	LBW	Load Bearing Wall
B.BAR	Breakfast Bar	RL	Relative Level
FW	Floor Waste	NGL	Natural Ground Level
HWS	Hot Water System	DP	Down Pipe
TAP	Ext. 12mm Hose Cock	SHS	Square Hollow Section

DESIGN LOADS

- All sizes of timber members deduced from AS 1684
- All remaining sizes of items deduced from Australian Domestic Construction Manual or relevant manufacturers specification.
- Sizes of timber members may vary upon ordering requirements but must remain within the guidelines of the said reference material.

MATERIALS AND CONSTRUCTION

AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

PROPOSED DUPLEX DEVELOPMENT FOR:

J MAGEE + W KELLY

AT: LOT 6 #12 KANOOKA CRES,
BOGANGAR NSW
VILLA TWO

DRAWING INDEX	
101	Cover Sheet
301	Ground Floor Plan
302	First Floor Plan
303	Elevations
304	Elevations
305	Section
311	Upper Roof Plan
701	Internal Elevations
801	Electrical Plan - Ground Floor
802	Electrical Plan - First Floor

Cover Sheet

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPENCIES TO INSPIRED BUILDING DESIGNS . FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES.
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AREA: 901 m2																																																																																																													

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HEIGHTS:

- GF - INTERNAL DOORS - 2340H UNO
- GF - WINDOW H.HEIGHT - 2400H UNO
- FF - INTERNAL DOORS - 2040H UNO
- FF - WINDOW H.HEIGHT - 2100H UNO

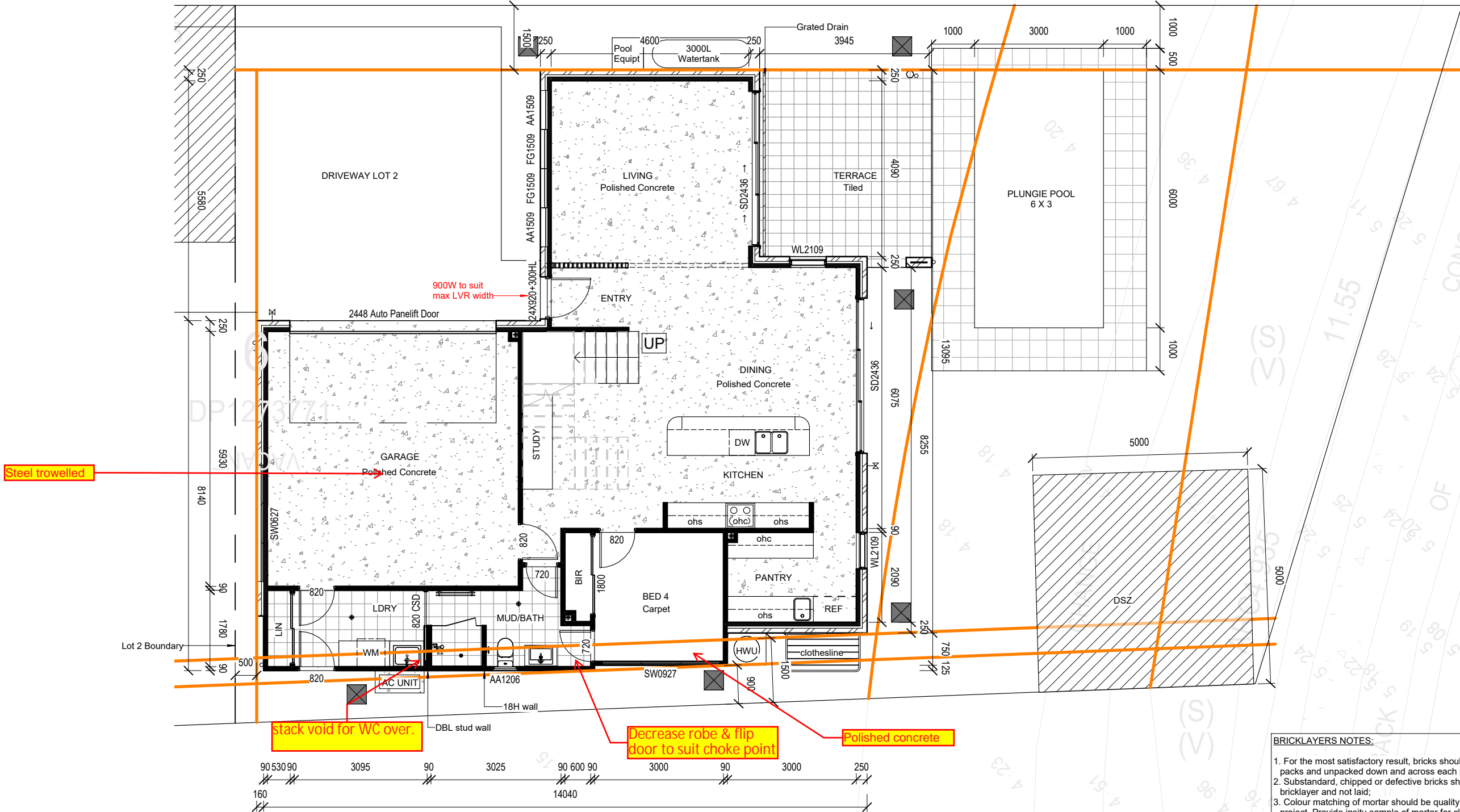
Area Schedule (Gross Building)		
Name	Area	Level
GROUND FLOOR LOT 2	107.32	Ground Floor Level
GARAGE LOT 2	38.22	Ground Floor Level
TERRACE LOT 2	17.74	Ground Floor Level
FIRSTFLOOR LOT 2	99.22	First Floor Level
262.50		

FF Conditioned	75.15
FF Unconditioned	18.43
GF Conditioned	86.73
GF Unconditioned	48.94

CLIENT SIGNATURES:

**BAL29 TO SOUTH, EAST & WEST —
ELEVATIONS INCLUDING ENTIRE
ROOF**

BAL 19 TO NORTHERN ELEVATION



BRICKLAYERS NOTES:

1. For the most satisfactory result, bricks should be blended from several packs and unpacked down and across each pack onto the project;
2. Substandard, chipped or defective bricks should be rejected by the bricklayer and not laid;
3. Colour matching of mortar should be quality controlled across the project. Provide insitu sample of mortar for client approval;
4. Bricklayers should progressively clean bricks as they go to avoid smear marks over bricks. Sponges should be cleaned regularly and water in buckets replaced regularly.

Ground Floor Plan

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<div>REAL PROPERTY DESCRIPTION</div> <div>PLAN NUMBER: DP1273771</div> <div>LOCAL AUTH: TWEED SHIRE</div> <div>AREA: 901m2</div>	<div>PROJECT ADDRESS:</div> <div>LOT 6 #12 KANOOKA CRES, BOGANGAR NSW</div>				<div>CLIENT:</div> <div>J MAGEE + W KELLY</div>			<div>BUILDER:</div> <div><div><div>Eco-Essence Homes</div></div><div>ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487</div><div>PHONE : 07 5520 0720 WEB: www.ecoessencehomes.com.au</div><div>ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578</div></div>			<div>DESIGN:</div> <div>NEW RESIDENCE</div>			<div>ISSUE:</div> <div>E</div> <div><div>A 17/02/22 PRELIMINARY PLANS ISSUED</div><div>B 10/03/22 PRELIMINARY PLANS ISSUED</div><div>B 21/04/22 REVISED PRELIMINARY PLANS ISSUED</div><div>D 23/05/22 REVISED CONTRACT PLANS ISSUED (SEWER PUMP)</div><div>E 26/04/23 REVISED CONTRACT PLANS ISSUED (RFI)</div></div>			<div>Elevation 3</div> <div><div><div>Elevation 2</div><div>Elevation 4</div></div><div><div></div></div><div>Elevation 1</div></div>		
	<div>IBD JOB NO:</div> <div>0260</div>		<div>DATE:</div> <div>26/04/23</div>		<div>DRAWN:</div> <div>BC</div>		<div>CHECKED:</div> <div>BC</div>		<div>SCALE:</div> <div>1 : 100</div>		<div>DWG NO:</div> <div>301</div>		<div>A3</div>						
	<div>FACADE:</div>												<div>STAGED PLAN:</div> <div>CONTRACT</div>						

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NOTE: THE POSITIONING OF ALL BULKHEADS AND AIR CONDITIONING DUCTING IS TO BE DETERMINED ON SITE. LOCATIONS SHOWN ARE INDICATIVE ONLY. AIR-CON CONDENSER UNIT IN ROOF SPACE. STRENGTHEN ROOF FRAME TO SUIT

PROTECTION OF OPENABLE WINDOWS:
OPENING WINDOWS IN BEDROOMS AT 2.0m OR MORE ABOVE THE SURFACE BELOW ARE TO BE FITTED WITH EITHER A DEVICE TO RESTRICT THE WINDOW OPENING,OR A SUITABLE SCREEN, SO A 125mm DIAMETER SPHERE CANNOT PASS THROUGH. THE SCREEN OR DEVICE MUST ALSO BE ABLE TO WITHSTAND AN OUTWARD HORIZONTAL FORCE OF 250 N.

- AWNING WINDOWS TO HAVE SHORT CHAIN WINDERS TO RESTRICT OPENING
- SLIDING WINDOWS TO HAVE KEY LOCKS TO RESTRICT OPENING

CLIENT SIGNATURES:



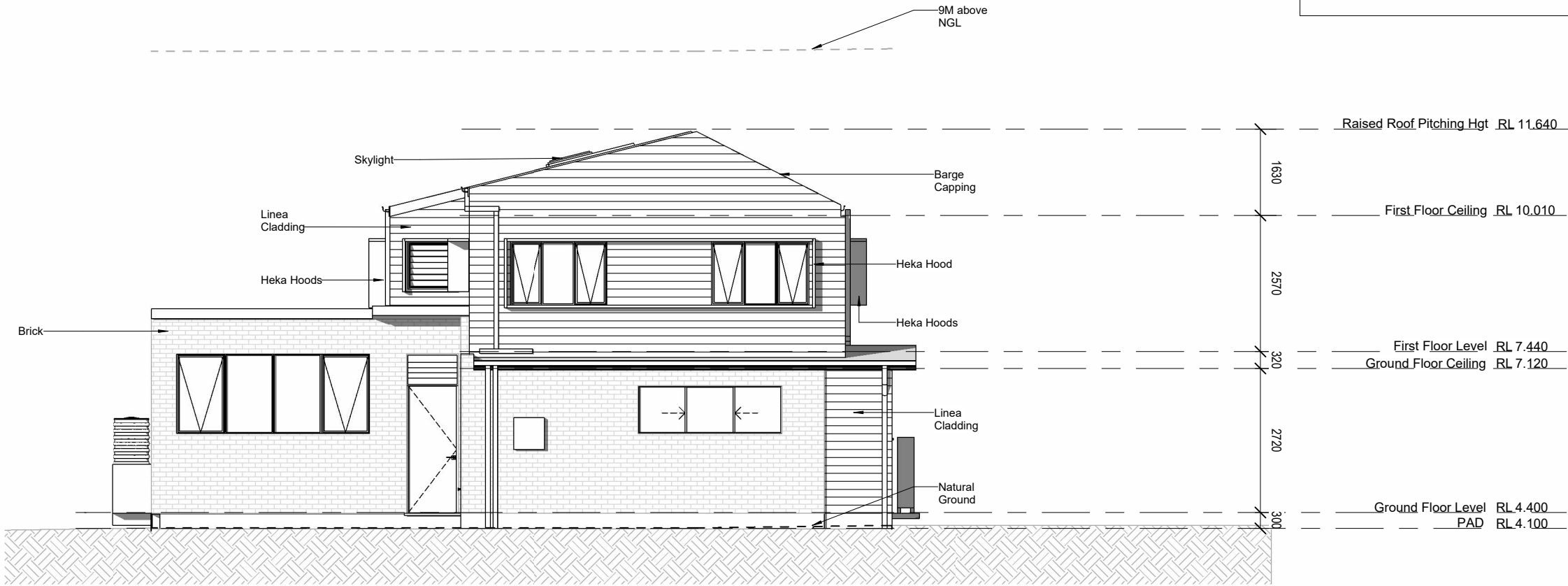
First Floor Plan

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **INSPIRED BUILDING DESIGNS**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND NCC.

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																CONTRACT																			

CLIENT SIGNATURES:

NOTE: ALL WINDOWS + DOORS IN CLADDIED WALLS TO HAVE 89x38 HARDIES AXENT TRIMS TO PERIMETER.



Elevation 3 (North)
1 : 100



Elevation 4 (West)
1 : 100

Elevations

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Elevation 2

Elevation 3

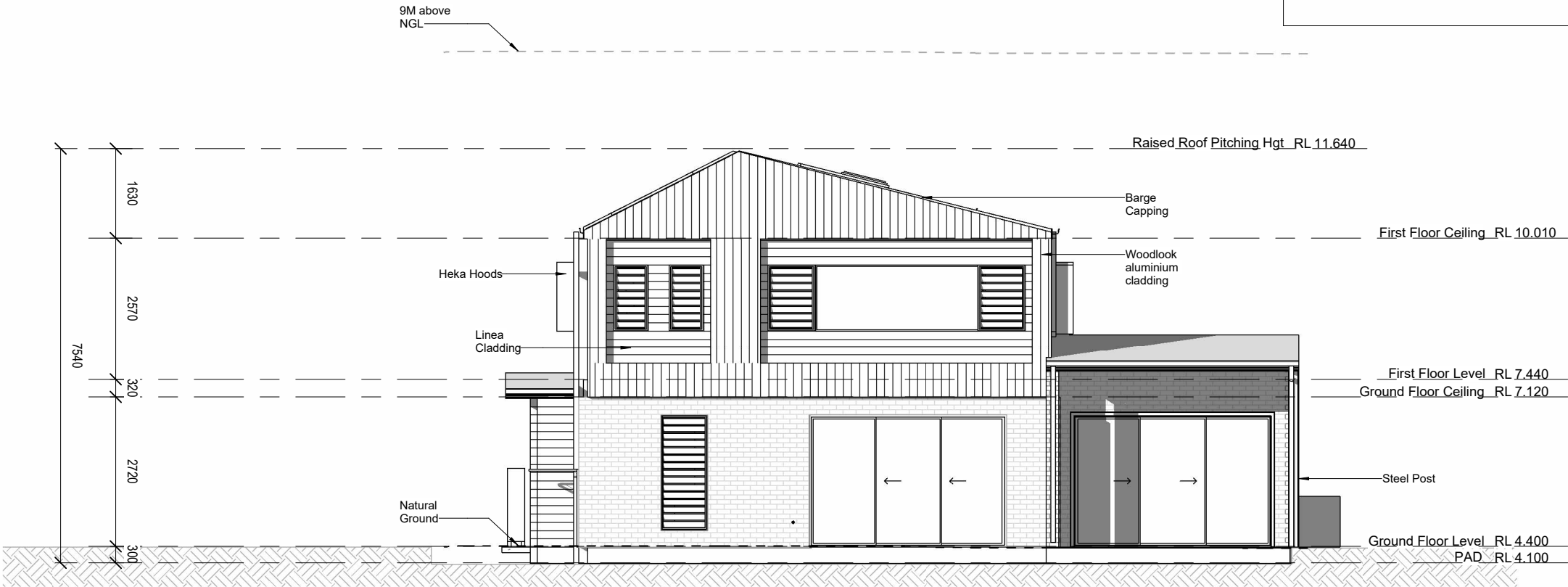
Elevation 4

Elevation 1

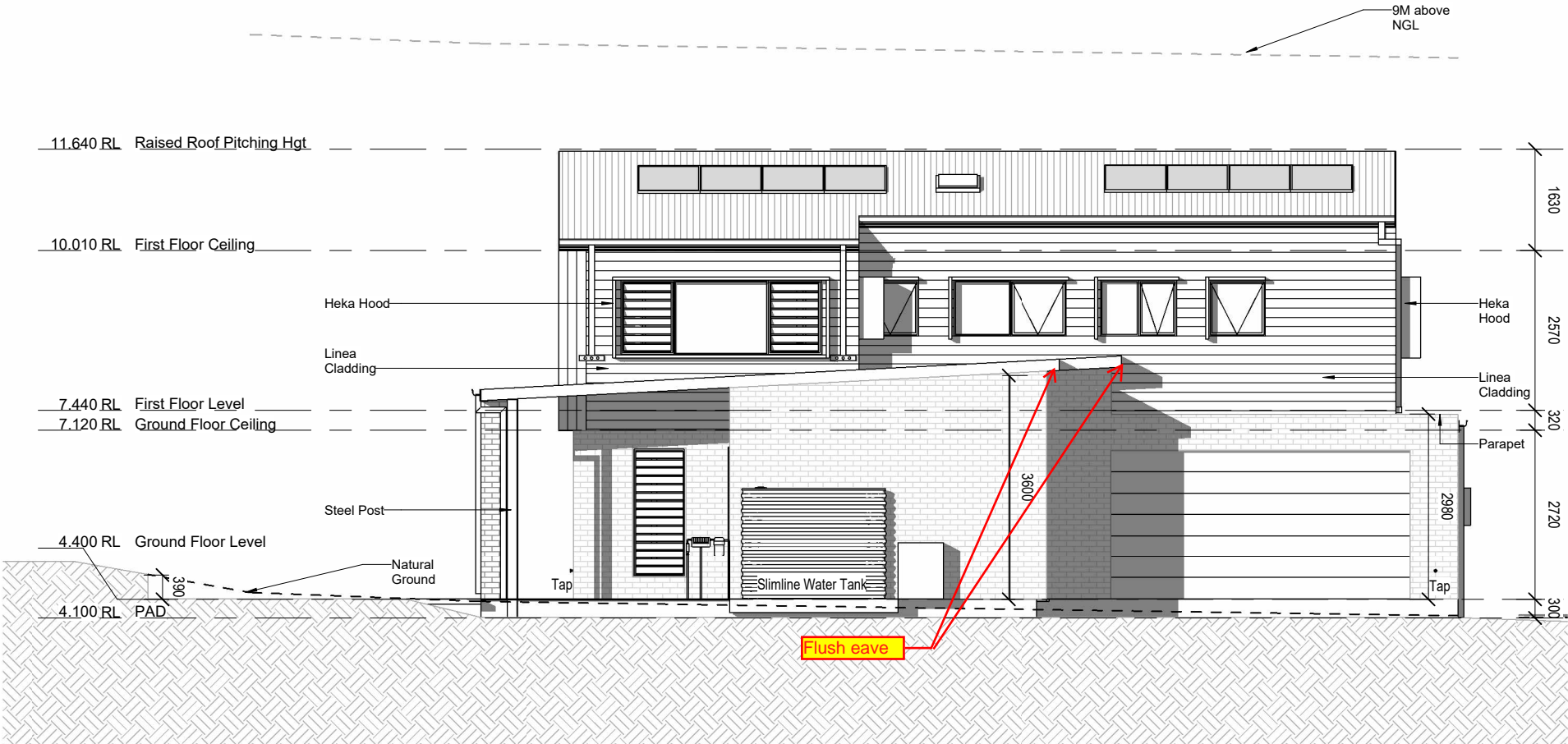
CLIENT SIGNATURES:

NOTE: ALL WINDOWS + DOORS IN CLADDED WALLS TO HAVE 89x38 HARDIES AXENT TRIMS TO PERIMETER.

Elevation 1 (South)
1 : 100



Elevation 2 (East)
1 : 100



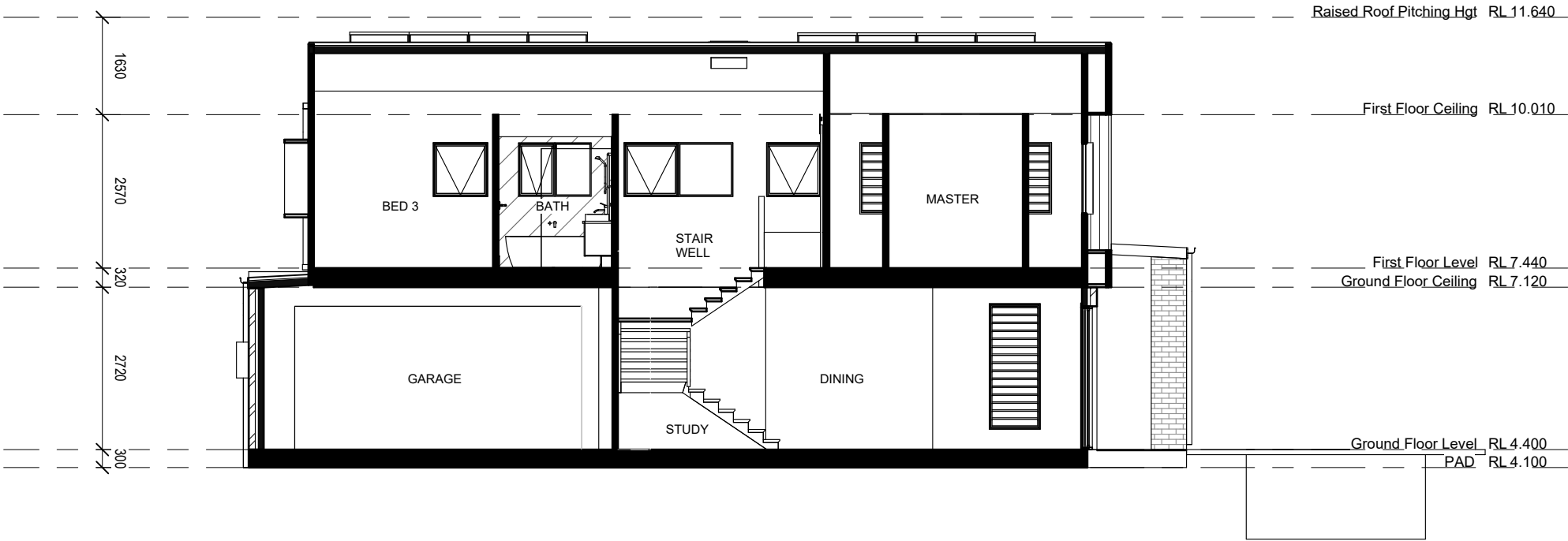
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LOCAL AUTH: TWEED SHIRE										
AREA: 901 m2										

CLIENT SIGNATURES:

- NOTES:
- SELECTED ROOF FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ROOF BATTENS FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ROOF TRUSSES TO MANUFACTURERS SPECIFICATION
 - BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ALL TIMBER SIZES TO CONFORM WITH NCC STANDARDS
 - SLAB & FOOTINGS TO ENGINEERS DETAIL
 - FLOORING MEMBERS TO ENGINEERS/MANUFACTURERS DETAIL



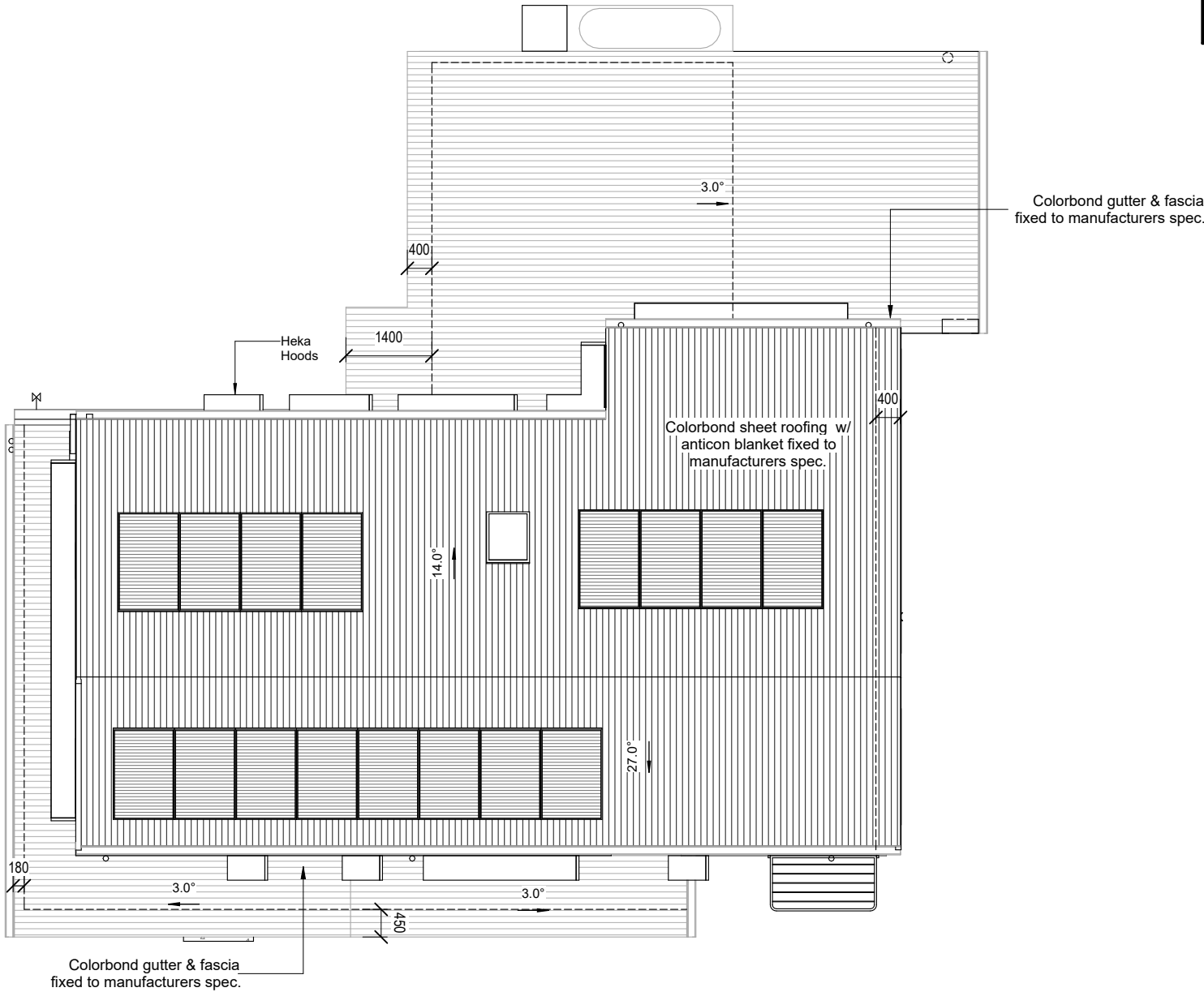
Section

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CLIENT SIGNATURES:

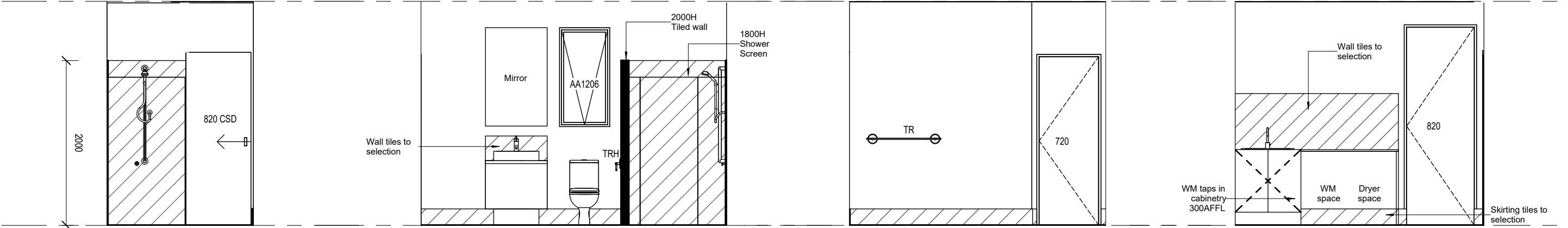
Main Roof Schedule	
Type	Area
COLORBOND ROOF SHEET	178.54m²



Upper Roof Plan

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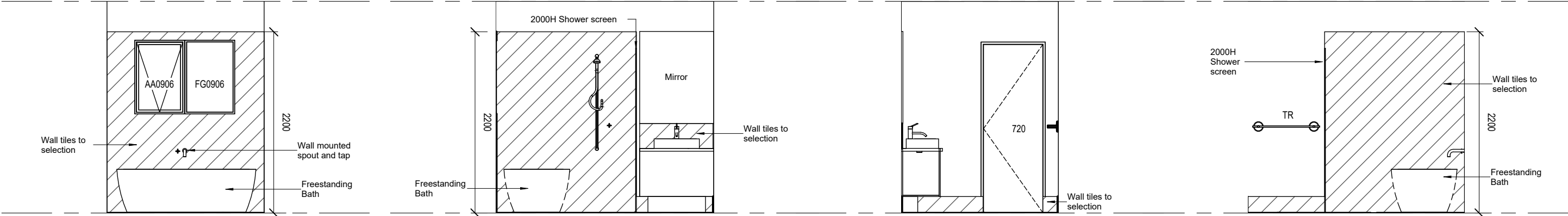


MUD/BATH 1
1 : 50

MUD/BATH 2
1 : 50

MUD/BATH 3
1 : 50

LDRY
1 : 50

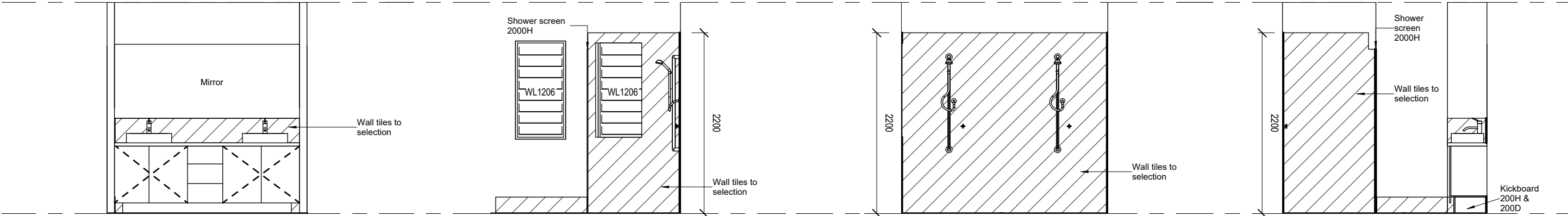


BATH 1
1 : 50

BATH 2
1 : 50

BATH 3
1 : 50

BATH 4
1 : 50



ENS 1
1 : 50

ENS 2
1 : 50

ENS 3
1 : 50

ENS 4
1 : 50

Internal Elevations

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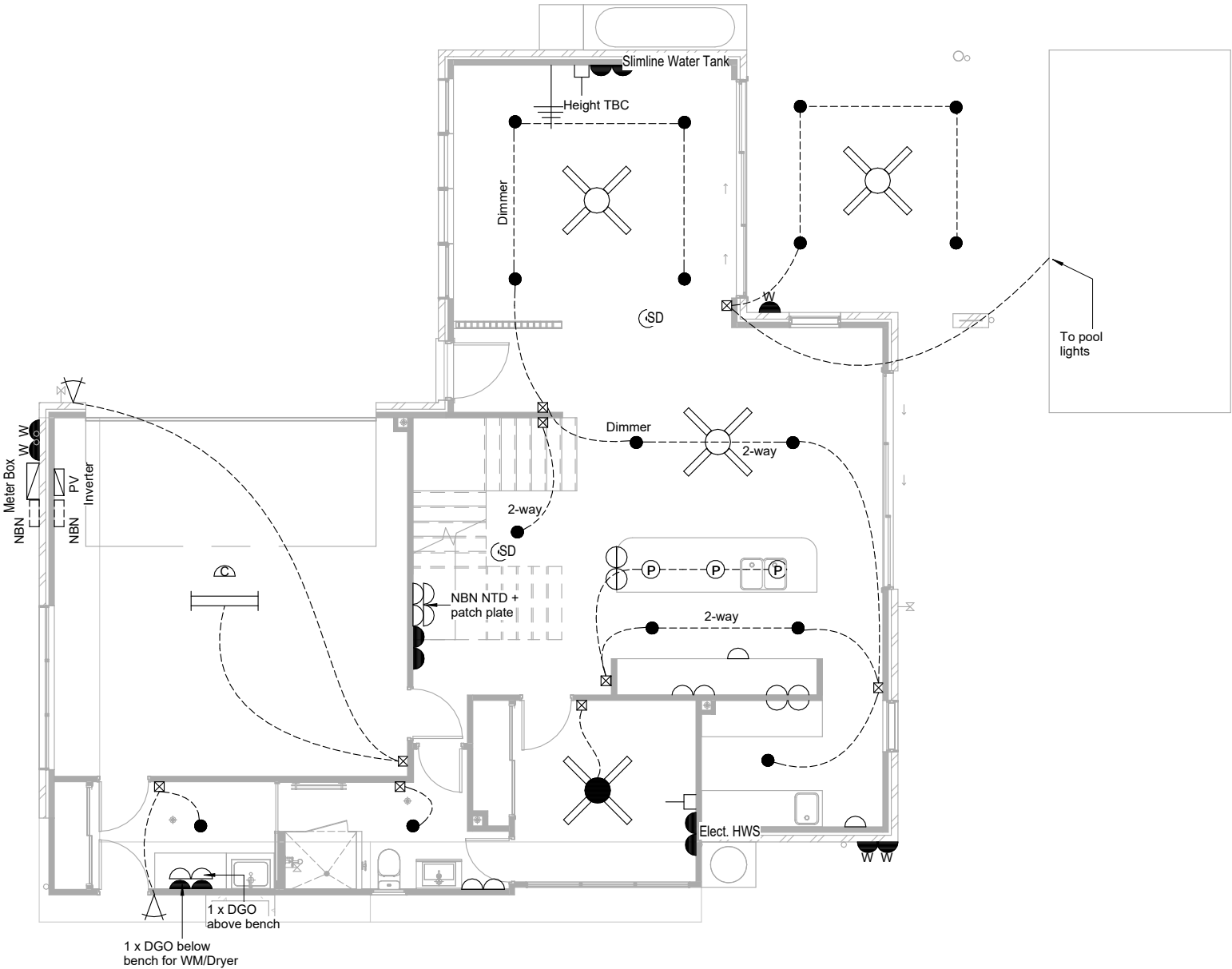
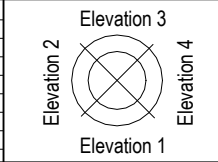
REAL PROPERTY DESCRIPTION		PROJECT ADDRESS:				CLIENT:				PROJECT:				ISSUE: E		A 17/02/22 PRELIMINARY PLANS ISSUED B 10/03/22 PRELIMINARY PLANS ISSUED B 21/04/22 REVISED PRELIMINARY PLANS ISSUED D 23/05/22 REVISED CONTRACT PLANS ISSUED (SEWER PUMP) E 26/04/23 REVISED CONTRACT PLANS ISSUED (RFI)				<div>Elevation 2</div> <div>Elevation 3</div> <div>Elevation 4</div> <div>Elevation 1</div>	
PLAN NUMBER: DP1273771		LOT 6 #12 KANOOKA CRES, BOGANGAR NSW				J MAGEE + W KELLY				NEW RESIDENCE											
LOCAL AUTH: TWEED SHIRE						BUILDER:				STAGED PLAN: CONTRACT											
AREA: 901 m2		DWG NO: 701		SCALE: 1 : 50		DATE: 26/04/23		DRAWN: BC		CHECKED: BC		JOB NO: 0260		THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © I NSPIRED BUILDING DESIGNS				A3			

Electrical Plan - Ground Floor

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO INSPIRED BUILDING DESIGNS . FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

REAL PROPERTY DESCRIPTION		PROJECT ADDRESS:				CLIENT:				PROJECT:			
PLAN NUMBER: DP1273771		LOT 6 #12 KANOOKA CRES, BOGANGAR NSW				J MAGEE + W KELLY				NEW RESIDENCE			
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AREA: 901 m2		DWG NO: 801	SCALE: 1 : 100	DATE: 26/04/23	DRAWN: BC	CHECKED: BC	JOB NO: 0260	THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © I NSPIRED BUILDING DESIGNS				A3	

A	17/02/22	PRELIMINARY PLANS ISSUED
B	10/03/22	PRELIMINARY PLANS ISSUED
B	21/04/22	REVISED PRELIMINARY PLANS ISSUED
D	23/05/22	REVISED CONTRACT PLANS ISSUED (SEWER PUMP)
E	26/04/23	REVISED CONTRACT PLANS ISSUED (RFI)



CEILING FAN

CEILING FAN/LIGHT

CEILING LIGHT

RECESSED DOWNLIGHT

LED SQUARE DOWNLIGHT

50mm LOW VOLTAGE DOWNLIGHT

PENDANT LIGHT

FLOURESCENT CEILING LIGHT

DOUBLE FLOURESCENT

SINGLE FLOURESCENT

FLOOD LIGHT

WALL LIGHT (1800 AFFL)

BATTEN POINT FOR TRACK LIGHTING

ELECTRICAL WIRING LINE

SWITCH LIGHT

DIMMER LIGHT SWITCH

PHONE POINT (300 AFFL)

DATA POINT

TELEVISION POINT (300 AFFL)

EXHAUST FAN

SINGLE GPO (300 AFFL)

DOUBLE GPO (300 AFFL)

SINGLE GPO (refer to notes)

DOUBLE GPO (refer to notes)

WATERPROOF GPO

CEILING MOUNTED GPO

JUNCTION BOX

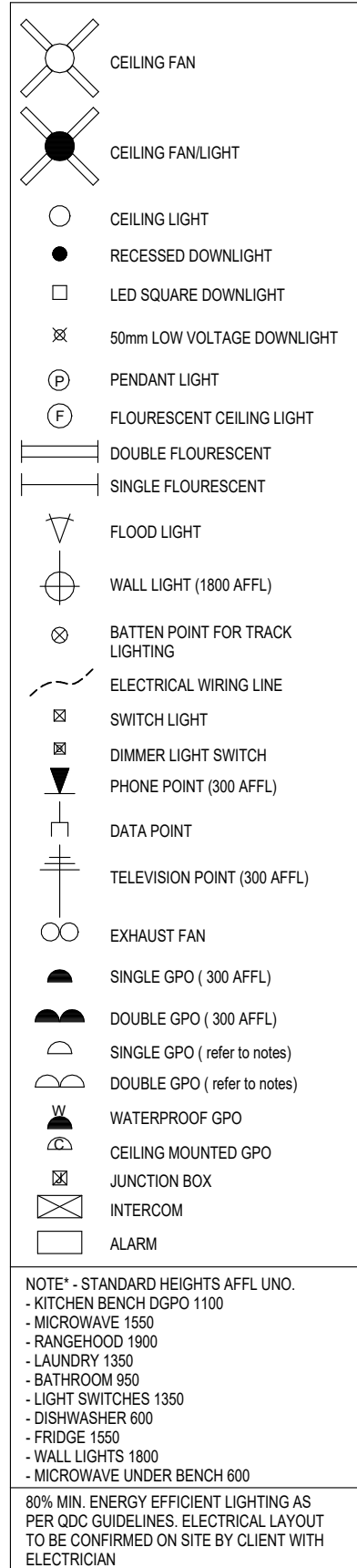
INTERCOM

ALARM

NOTE* - STANDARD HEIGHTS AFFL UNO.

- KITCHEN BENCH DGPO 1100
- MICROWAVE 1550
- RANGEHOOD 1900
- LAUNDRY 1350
- BATHROOM 950
- LIGHT SWITCHES 1350
- DISHWASHER 600
- FRIDGE 1550
- WALL LIGHTS 1800
- MICROWAVE UNDER BENCH 600

80% MIN. ENERGY EFFICIENT LIGHTING AS PER QDC GUIDELINES. ELECTRICAL LAYOUT TO BE CONFIRMED ON SITE BY CLIENT WITH ELECTRICIAN



AREA: 901 m2	DWG NO: 802	SCALE: 1:100	DATE: 26/04/23	DRAWN: BC	CHECKED: BC	JOB NO: 0260	THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © I NSPIRED BUILDING DESIGNS	A3
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