



**GROUNDFORCE**  
**SERVICES**

## **PRE-PURCHASE PROPERTY & TIMBER PEST REPORT**

Report number: PTPR\_9444  
Inspection date: Wednesday 12th June 2024  
Property address: 1893 Comboyne Road,  
Killabakh  
NSW 2429



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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

(The Form/Server/Ref numbers below are for office use only)

Form: SPTPR V3 - 17th January 2016

Server report no: 2329

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## Service

As requested and agreed with the Client, the inspection carried out by the Building Consultant and Timber Pest Detection Consultant is a Standard Property & Timber Pest Report comprising a Property Report and a Timber Pest Report.

"Client" means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

"Building Consultant" means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections - Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

"Timber Pest Detection Consultant" means person who meets the minimum skills requirement set out in the current Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this Standard, where applicable.

This Standard Property & Timber Pest Report was produced for the exclusive use of the Client. The consultant, their company or firm is not liable for any reliance placed on this report by any third party.

## Terms on which this report was prepared

### Property report

**PURPOSE OF INSPECTION** The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

**SCOPE OF INSPECTION** This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Structural Damage" means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- (a) Structural Cracking and Movement - major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- (b) Deformation - an abnormal change of shape of Primary Elements resulting from the application of load(s)
- (c) Dampness - the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- (d) Structural Timber Pest Damage - structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

"Structure" means the loadbearing part of the building, comprising the Primary Elements.

"Primary Elements" means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

"Conditions Conducive to Structural Damage" means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

"Major Defect" means defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

"Secondary Elements" means those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

"Finishing Elements" means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and lino.

"Minor Defect" means defect other than a Major Defect.

"Serious Safety Hazard" means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

"Tests" means where appropriate the carrying out of tests using the following procedures and instruments:

- (a) Dampness Tests - additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.
- (b) Physical Tests - the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

**ACCEPTANCE CRITERIA** The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in 'Special Conditions or Instructions', the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

## LIMITATIONS

The Client acknowledges:

1. 'Visual only' inspections are not recommended. A visual only inspection may be of limited use to the Client. In addition to a visual inspection, to thoroughly inspect the Readily Accessible Areas of the property requires the Consultant to carry out when ever necessary appropriate Tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.

4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

## EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

## Timber pest report

**PURPOSE** The purpose of this inspection is to assist the Client to identify and understand any Timber Pest issues observed at the time of inspection.

**SCOPE OF INSPECTION** This Report only deals with the detection or non detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site (see Note below) and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Timber Pest Attack" means Timber Pest Activity and/or Timber Pest Damage.

"Timber Pest Activity" means telltale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.

"Timber Pest Damage" means noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests.

"Major Safety Hazard" Any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed.

"Conditions Conducive to Timber Pest Attack" means noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

"Timber Pests" means one or more of the following wood destroying agents which attack timber in service and affect its structural properties:

- (a) Chemical Delignification - the breakdown of timber through chemical action.
- (b) Fungal Decay - the microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include mould, which is a type of fungus that does not structurally damage wood.
- (c) Wood Borers - wood destroying insects belonging to the order 'Coleoptera' which commonly attack seasoned timber.
- (d) Termites - wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.

"Tests" means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Timber Pests. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

"Instrument Testing" means where appropriate the carrying out of Tests using the following techniques and instruments:

- (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements;
- (b) stethoscope - an instrument used to hear sounds made by termites within building elements;
- (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and
- (d) sounding - a technique where timber is tapped with a solid object.

"Subterranean Termite Management Proposal" A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.

**ACCEPTANCE CRITERIA** Unless noted in "Special Conditions or Instructions", the building being inspected was compared with a similar building. To the Consultant's knowledge the similar building used for comparison was constructed in accordance with generally accepted timber pest management practices and has since been maintained during all its life not to attract or support timber pest infestation.

Unless noted in "Special Conditions or Instructions", this Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. This Report therefore cannot deal with:

- (a) possible concealment of timber pest attack, including but not limited to, timber pest attack concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent timber pest attack, including but not limited to, timber pest attack that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.



If the Client has any doubt about the purpose, scope and acceptance criteria on which this Report was based please discuss your concerns with the Consultant on receipt of this Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

## LIMITATIONS

The Client acknowledges:

1. This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.
2. The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
3. The detection of drywood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.
4. European House Borer (*Hylotrupes bajulus*) attack is difficult to detect in the early stages of infestation as the galleries of boring larvae rarely break through the affected timber surface. No warranty of absence of these borers is given. Regular inspections including the carrying out of appropriate tests are required to help monitor susceptible timbers.
5. This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.
6. If the inspection was limited to any particular type(s) of timber pest (e.g. subterranean termites), then this would be the subject of a Special-Purpose Inspection Report, which is adequately specified.
7. This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g. toxic mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. The choice of such inspector is a matter for the Client.
8. This Report has been produced for the use of the Client. The Consultant or their firm or company are not liable for any reliance placed on this report by any third party.

## EXCLUSIONS

The Client acknowledges that:

1. This Report does not deal with any timber pest preventative or treatment measures, or provide costs for the control, rectification or prevention of attack by timber pests. However, this additional information or advice may be the subject of a timber pest management proposal which is adequately specified.

## Special conditions or instructions

There are no special conditions or instructions.

## The Parties

Pre-engagement inspection  
agreement number (if applicable):

Name of Client: Vendors Report

Name of Principal (if applicable): LJH Taree

Address of Client:

Client's email:

Client's telephone number:

Consultant's name: Rodney Oberg

Consultant's licence number  
(if applicable): 5081120

Consultant's mobile number: 0429444599

Company name: Groundforce Services

Company address and postcode:

Company email: rod@groundforceservices.com.au

Company telephone number:

Company fax number:

## Section A Results of inspection - summary

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

### Property report - summary

In respect of significant items:

Item 1: Evidence of Serious Safety Hazards was not observed.

Item 2: Evidence of Major Defects was observed - see Section D, Items D2 - D21.

Item 3: Evidence of Minor Defects was observed - see Section D, Item D22.

Item 4: Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected structural damage and conditions conducive to structural damage was considered: MODERATE -see Section C for details.

Additional comments: Notes:



1. Power turned off at main at time of inspection.
  - a. Items not inspected include but not limited to:
    - i. Power points.
    - ii. Electrical RCDs in sub boards.
    - iii. Fans, lights, ACs.
    - iv. Oven, cooktop, grill.
    - v. HWS.
    - vi. Pumps.
    - vii. No water for pressure pump, toilets, shower, sinks, "S" traps, taps etc.
2. Extensive general defects to old dairy and carport structures. Builds not to tradesman standards with some timbers/ spans/ pitch not constructed to the BCA.

No Serious safety hazards found.

Safety notes:

1. Asbestos fibrous sheeting found in the construction of the main dwelling. Areas used eaves, main meter box board, gable ends, ALL internal walls including wetareas (kitchen, bathroom, laundry, toilet) some including living, bed 1, bed 2 covered by gyprock - No major concern noted for your information.
2. In 2013 the BCA was updated for window heights fitted without a fall arrest system in place. The new regulation is 865mm to the bottom of the window from an internal landing when above 2.0m from external ground level. Some windows (living area and front sunroom) do not meet these requirements. Recommend to add security window screens OR fix so window cannot open over 100mm. Regulation only applies based on when the building was constructed. This is not a mandatory requirement but advised. Matt Garland MG Glass Solutions 0447 220 171 can add security screens.

Major defects found include:

1. Stormwater management as per AS/NZS 3500.3
  - a. AS/NZS 3500.3 requires the minimum downpipes per 47m<sup>2</sup> is at least 1 x 90mm stormwater downpipe. Due to catchment areas, the current stormwater management on the main dwelling is not adequate.
    - i. Dwelling only has 3 DPs rear RHS to water tanks.
  - b. Cement water tank cracked/ leaking.
  - c. Sagging/ poor fall guttering front, LHS, rear and RHS of dwelling.
  - d. Rusted out guttering perimeter of dwelling.
  - e. No tails in water tanks.
  - f. Guttering full of debris, pushed water/ debris over into eaves, damaging eaves.
  - g. Boxed guttering damaged/ leaking. High moisture readings. Water marks internal ceiling.

Recommendation:

- a. Remove and replace rusted guttering perimeter of dwellings.
- b. Remove and replace boxed guttering.
- c. Clear guttering DP chain to water tanks. Repair and ensure ALL DPs chain to water tanks.
- d. Clear foliage from dwelling.
- e. Consult a licenced plumber or builder. Blake Crossingham Easy Flo plumbing and gas 0437 404 692. OR builder Danny Christie Building 0434 943

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Monitor and IF required.

a. Add at least 1 x additional DP to the front LH and RH corners of the main dwelling directed to water tanks.

2. Groundwater management. 753mm since 01 Jan 2024. Source Taree airport BOM

a. Groundwater runoff to LHS and rear of main dwelling. Runoff to subfloor.

Recommendation:

a. Perform all stormwater recommendations as per this report.

Monitor and IF required.

a. Add a rubble drain and AG line OR dish drain top of dwelling and carport directed to storm water.

b. Consult a licenced plumber or builder. Blake Crossingham Easy Flo plumbing and gas 0437 404 692. OR builder Danny Christie Building 0434 943 571

3. External roof.

a. Roofing iron as per AS 1562.1:2018

i. Rusted sections of roofing iron.

ii. Water marks/ damage to eaves, front and LHS.

iii. Loose rear roofing iron. Nails sitting high.

iv. Rusted roofing screws rear of dwelling and additions. Migrating to roofing iron.

b. Water leak to ceiling around fire flue.

i. Hole in dektite around fire flue.

ii. Water marks ceiling.

c. Rusted flashing gable end LHS of dwelling.

Recommendations:

a. Repair/ replace rusted roofing iron.

b. Replace rusted apron flashing under gable end.

c. Replace rusted roofing screws.

d. Replace damaged/ leaking dektite.

e. Refix iron down from loose nails.

d. Consult a licenced roofing plumber or builder. Blake Crossingham Easy Flo plumbing and gas 0437 404 692. OR builder Danny Christie Building 0434 943 571.

4. Timber rot external carpentry/ timbers.

Recommendations:

a. Perform all stormwater and groundwater recommendations as per this report.

b. Repair/ replace timber carpentry as required.

c. Seal timbers and joins.

d. Monitor/ consult a licenced builder. Danny Christie Building 0434 943

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5. Septic tank connected to main dwelling.

<https://www.geographeliquidwaste.com.au/septic-resources>

<https://www.olg.nsw.gov.au/wp-content/uploads/Easy-septic-guide.pdf>

a. Unsealed lid. This can allow water egress, harbour pests and allow smell.

Recommendations:

a. Pump out septic tank. <https://www.midcoastliquidwaste.com.au/>

- b. Sikalax lid top and perimeter to stop water egress and pests harbourage.
- c. Consult a licenced plumber Blake Crossingham Easy flo plumbing and gas 0437 404 692.

6. Piers.

- a. Leaning and sunken piers main dwelling.

Recommend:

- a. Perform ALL groundwater and stormwater recommendations as per this report.
- b. Straighten and pack as required. Danny Christie Carpentry 0434 943 571

7. Cracked glass windows included:

- a. Rear living room cracked glass windows.

Recommendations:

- c. Consult a licenced glazier. Matt Garland MG Glass. 0447 220 171 <https://www.facebook.com/p/MG-Glass-Solutions-100054405703577/>

8. Ceilings/ wall water marks:

- a. Water marks ceiling side rear entrance area.
- b. Water marks ceiling/ wall under boxed guttering section.
- c. Front LH side sunroom.
- d. Front verandah water marks and damage.

Recommendations:

- a. Perform ALL external roof and stormwater recommendations as per this report.

9. Current carport and shedding not constructed to standards.

- a. Iron under pitched. Sag in rafters, too large of span for timbers used.

Wall frames into ground.

Recommendations:

- a. Repair/ replace. Consult a licenced builder. Danny Christie Carpentry 0434 943 571

Minor defects and maintenance observations found include:

1. HWS DOM Unknown. Estimated as beyond useful life as cupboards built around it. Recommend to service after 10 years to prolong life of unit.
2. Living room old wall AC unit covered over. Remove unit and repair gap.
3. LHS Bed 2 no light fitted. Electrician to fit lights.
4. LHS Bed 1 and 2 Louver windows bind/ jammed.
5. Sunroom no light, lead light window not latch. No PPs fitted.
6. Bathroom drummy threshold tiles, cracked rear shower tiles. Monitor.
7. Living room french doors bind. Repair.
8. Kitchen water damage to cupboards.
9. LHS sliding door off rollers.
10. Rear games room some windows jammed shut.
11. Front Bed 4 window springs. Replace.

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on how to help protect against financial loss due to timber pest attack see Section G "Important Notes".

## Timber pest report - summary

In respect of significant items:

- Item 1: Evidence of active (live) termites was not found.
- Item 2: Evidence of termite activity (including workings) and/or damage was found - see Item E3.
- Item 3: Evidence of a possible previous termite management program was not found.
- Item 4: The next inspection to help detect any future termite attack is recommended in 6 months.
- Item 5: Evidence of chemical delignification damage was not found.
- Item 6: Evidence of fungal decay activity and/or damage was not found.
- Item 7: Evidence of wood borer activity and/or damage was not found.
- Item 8: Evidence of conditions conducive to timber pest attack was found See Items E9 - E13.
- Item 9: Evidence of major safety hazards was not found.
- Item 10: Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected timber pest attack and conditions conducive to timber pest attack was considered: MODERATE -see Section C.

Additional comments: Timber pest results found included:

1. No active termites found in main dwelling.
2. No existing termite damage to main structure found. Extensive damage to Dairy.
3. No termite management program found. Recommend bi-annual inspections as per AS3660 due to level of risk.
4. No chemical delignification damage found.
5. No fungal decay damage found.
6. No wood borer damage found.
7. Conditions conducive to timber pest found include:
  - a. AS3660 require dwelling external cladding to be clear from ground level and/ or built up gardens or any obstruction by at least 75mm to not conceal termite entry points. The rear formwork under main dwelling, LHS rear of dwelling entry, dairy shed and makeshift sheds bridges these points.
  - b. Formwork left under bathroom and laundry area. Remove high termite risk.

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on how to help protect against financial loss due to timber pest attack see Section G "Important Notes".

## Section B General

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

### General description of the property

Residential building type:	Detached house.
Number of storeys:	Single storey.
Building age (approx):	75 years.
Approximate year when the property was extended (if applicable):	40 years.
Smoke detectors:	4 fitted, but not tested.  IMPORTANT NOTE The adequacy and testing of smoke detectors is outside the scope of this standard inspection and report. Accordingly, it is strongly recommended that a further inspection be undertaken by a suitably qualified person.
Siting of the building:	Towards the front of a large block.
Gradient:	The land is gently sloping.
Site drainage:	The site appears to be poorly drained.
Access:	Reasonable pedestrian and vehicular access.
Main utility services:	Electricity.  Septic  Water tank pressure pump.
Occupancy status:	Unoccupied and unfurnished.
Orientation (to establish the way the property was viewed):	The façade of the building faces south.  Note. For the purpose of this report the façade of the building contains the main entrance door.
Prevailing weather conditions at the time of inspection:	Prolonged wet spell.

### Primary method of construction

Main building – floor construction: Brick piers.  
Brick foundation walls.  
Suspended timber framed.

Main building – wall construction: Timber framed.  
Full brick rear extension.  
External weatherboards.  
External cladding.

Main building – roof construction: Timber framed.  
Finished with sheet metal roofing.

Overall standard of construction: Acceptable.

Overall quality of workmanship and materials: Acceptable.

Level of maintenance: Reasonably maintained.

### Incomplete construction

The term 'incomplete construction' means where the original construction and any alterations or additions to the building are not complete in the work synonymous with construction (but does not include building services).

Note. This is only a general observation/comment except where any part of the building structure is, or is likely to be, at risk due to this condition.

### Accommodation & significant ancillaries

Storey	Living Rooms	Bedrooms	Bathroom /Ensuite	Separate toilet	Kitchen	Laundry	Swim pool*	Other	Name of Other
Lower ground	0	0	0	0	0	0		0	
Ground	3	4	1	1	1	1	0	0	
First	0	0	0	0	0	0		0	
Second	0	0	0	0	0	0		0	
Third	0	0	0	0	0	0		0	
Attic/Loft	0	0	0	0	0	0		0	
Detached	0	0	0	0	0	0	0	0	
<b>Totals</b>	<b>3</b>	<b>4</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>0</b>	<b>0</b>	

(\* A ground floor swimming pool denotes an internal swimming pool / A detached swimming pool denotes an external swimming pool)

### Parking

Type	Off street parking spaces (uncovered)	Garage (covered)	Car-port (covered)
Attached	0	0	0
Detached	0	0	1
<b>Totals</b>	<b>0</b>	<b>0</b>	<b>1</b>



## Section C Accessibility

Unless noted in "Special Conditions or Instructions", the inspection only covered the Readily Accessible Areas of the Building & Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Readily Accessible Areas" means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term 'readily accessible' also includes:

- (a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and
- (b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

"Building & Site" means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

For the Timber Pest Report, the term "Building & Site" is extended to include the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

### Areas inspected

The inspection covered the following Readily Accessible Areas:

Building interior.

Building exterior.

Roof exterior.

Roof space.

Subfloor space.

Outbuildings.

The site.

### Areas not inspected

The inspection did not include areas, which were inaccessible, not readily

accessible or obstructed at the time of inspection. The Consultant did not move or remove any obstructions which may be concealing evidence of defects such as timber pest attack. Areas, which are not normally accessible, were not inspected such as under slabs on ground as it is not "considered practical" to gain access to them. Evidence of defects in obstructed or concealed areas may only be revealed when the items are moved or removed or access has been provided.

## Obstructions

- Building Interior: Floor coverings.  
Wall linings.
- Building Exterior: Vegetation.
- Roof Space: Thermal insulation.

## Photographs



Image comments: Out building perimeters



Image comments: Out building perimeters

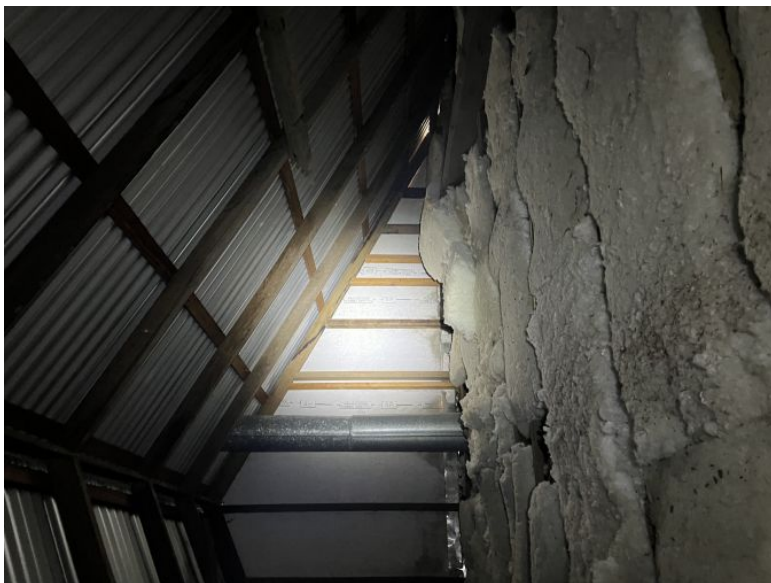


Image comments: Roofspace insulation and access

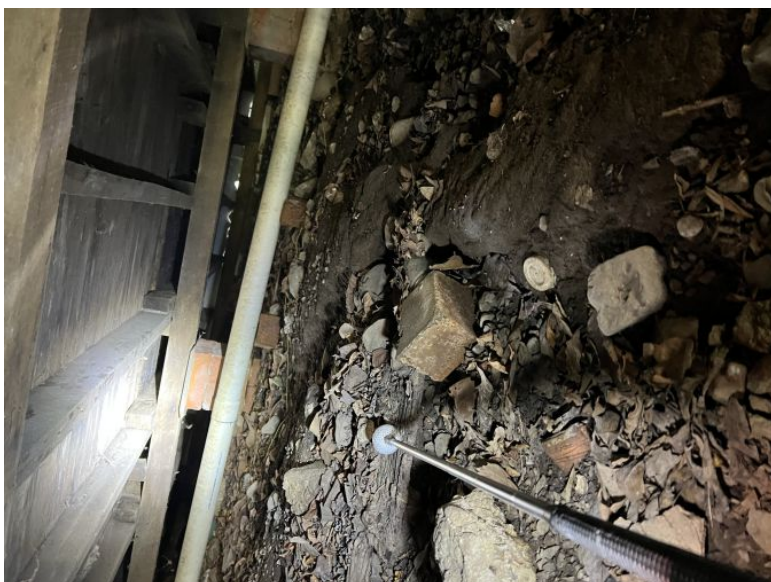


Image comments: Subfloor space access

### Inaccessible areas

- Roof Space:** In inspecting the roof space, there was no inspection of the roof interior in the vicinity of the eaves where the area of accessibility was less than 600 mm high x 600 mm wide.
- Subfloor space:** In inspecting the subfloor space, there was no inspection of those parts where the area of accessibility was less than 600 mm high x 600 mm wide.
- The site:** In inspecting the site, there was no inspection of any area that was more than 30 metres from the main building.

### Undetected defect risk assessment

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects, faults or risks was considered:

#### MODERATE

A further inspection is strongly recommended of areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items, foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice consult the person who carried out this report.

## Section D Property report

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this Condition Report, monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

### Serious safety hazards

As a matter of course, in the interests of safety, an inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

#### D1 Serious safety hazards

No evidence of Serious safety hazards was found.  
Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

### Inside condition - major defects

#### D2 Ceilings

The following evidence of Major Defects was found:

Area	Building interior
Location:	In general.
Affected element:	Ceiling.
Defect or Sign:	Ceilings/ wall water marks: a. Water marks ceiling side rear entrance area. b. Water marks ceiling/ wall under boxed guttering section. c. Front LH side sunroom.



d. Front verandah water marks and damage.

Visible extent: Localised.

Recommendation: Recommendations:  
a. Perform ALL external roof and stormwater recommendations as per this report.

#### Photographs



Image comments: Water marks ceiling



Image comments: Water marks ceiling



Image comments: Water marks ceiling



Image comments: Water marks ceiling





Image comments: Water marks ceiling

### D3 Internal walls

No evidence of Major defects was found.  
Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

### D4 Floors

No evidence of Major defects was found.  
Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

### D5 Internal Joinery (e.g. doors, staircase, windows and all other woodwork, etc)

No evidence of Major defects was found.  
Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

### D6 Built-in fittings (built in kitchen and other fittings, not including the appliances)

No evidence of Major defects was found.  
Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

### D7 Bathroom fittings

No evidence of Major defects was found.  
Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

## D8 Other inside detail (e.g. fireplaces, chimney breasts and the outside of flues)

No evidence of Major defects was found.

Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

## D9 Roof space

No evidence of Major Defects was found.

Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

## D10 Subfloor space

The following evidence of Major Defects was found:

Area	Subfloor space
Location:	Below the building in general.
Affected element:	Piers.
Defect or Sign:	Leaning. Piers. a. Leaning and sunken piers main dwelling.
Visible extent:	Localised.
Recommendation:	Recommend: a. Perform ALL groundwater and stormwater recommendations as per this report. b. Straighten and pack as required. Danny Christie Carpentry 0434 943 571

Photographs



Image comments: Leaning piers



Image comments: Leaning piers



Image comments: Sunken wooden pier

## Outside condition - major defects

### D11 External walls

The following evidence of Major Defects was found:

Area	Building exterior
Location:	Outside of the building in general.
Affected element:	Weatherboards.
Defect or Sign:	Weathering damage. Timber rot external carpentry/ timbers.
Visible extent:	Widespread.
Recommendation:	Recommendations: a. Perform all stormwater and groundwater recommendations as per this report. b. Repair/ replace timber carpentry as required. c. Seal timbers and joins. d. Monitor/ consult a licenced builder. Danny Christie Building 0434 943 571

## Photographs





Image comments: Timber rot carpentry



Image comments: Timber rot carpentry



Image comments: Timber rot carpentry



Image comments: Timber rot carpentry





Image comments: Timber rot carpentry

## D12 Windows

The following evidence of Major Defects was found:

Area	Building exterior
Location:	Outside the building.
Affected element:	Glass.
Defect or Sign:	Cracked glass windows included: a. Rear living room cracked glass windows.
Visible extent:	Localised.
Recommendation:	Recommendations: a. Consult a licenced glazier. Matt Garland MG Glass. 0447 220 171 <a href="https://www.facebook.com/p/MG-Glass-Solutions-100054405703577/">https://www.facebook.com/p/MG-Glass-Solutions-100054405703577/</a>

Photographs



Image comments: Cracked glass

#### D13 External doors (including patio doors)

No evidence of Major defects was found.  
Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

#### D14 Platforms (including verandahs, patios, decks and the like)

No evidence of Major defects was found.  
Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

#### D15 Other external primary elements

No evidence of Major defects was found.  
Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

#### D16 Other external secondary & finishing elements

No evidence of Major defects was found.  
Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

#### D17 Roof exterior (including roof covering, penetrations, flashings)

The following evidence of Major Defects was found:

Area	Roof exterior
Location:	Above the building in general.
Affected element:	Roof sheeting.
Defect or Sign:	<p>External roof.</p> <ul style="list-style-type: none"> <li>a. Roofing iron as per AS 1562.1:2018 <ul style="list-style-type: none"> <li>i. Rusted sections of roofing iron.</li> <li>ii. Water marks/ damage to eaves, front and LHS.</li> <li>iii. Loose rear roofing iron. Nails sitting high.</li> <li>iv. Rusted roofing screws rear of dwelling and additions. Migrating to roofing iron.</li> </ul> </li> <li>b. Water leak to ceiling around fire flue. <ul style="list-style-type: none"> <li>i. Hole in dektite around fire flue.</li> <li>ii. Water marks ceiling.</li> </ul> </li> <li>c. Rusted flashing gable end LHS of dwelling.</li> </ul>
Visible extent:	Localised.
Recommendation:	<p>Recommendations:</p> <ul style="list-style-type: none"> <li>a. Repair/ replace rusted roofing iron.</li> <li>b. Replace rusted apron flashing under gable end.</li> <li>c. Replace rusted roofing screws.</li> <li>d. Replace damaged/ leaking dektite.</li> <li>e. Refix iron down from loose nails.</li> <li>d. Consult a licenced roofing plumber or builder. Blake Crossingham Easy Flo plumbing and gas 0437 404 692. OR builder Danny Christie Building 0434 943 571.</li> </ul>

#### Photographs



Image comments: Timber rot eaves



Image comments: Timber rot eaves



Image comments: Rusted roofing iron





Image comments: Loose roofing iron



Image comments: Hole in flashing



Image comments: Hole in flashing



Image comments: Rusted roofing screws



Image comments: Rust holes in apron flashing



Image comments: Water marks around flue

## D18 Rainwater goods

The following evidence of Major Defects was found:

Area	Building exterior
Location:	Outside of the building in general.
Affected element:	Downpipe chain.
Defect or Sign:	Stormwater management as per AS/NZS 3500.3 <ul style="list-style-type: none"><li>a. AS/NZS 3500.3 requires the minimum downpipes per 47m<sup>2</sup> is at least 1 x 90mm stormwater downpipe. Due to catchment areas, the current stormwater management on the main dwelling is not adequate.</li><li>i. Dwelling only has 3 DPs rear RHS to water tanks.</li></ul>



- b. Cement water tank cracked/ leaking.
- c. Sagging/ poor fall guttering front, LHS, rear and RHS of dwelling.
- d. Rusted out guttering perimeter of dwelling.
- e. No tails in water tanks.
- f. Guttering full of debris, pushed water/ debris over into eaves, damaging eaves.
- g. Boxed guttering damaged/ leaking. High moisture readings. Water marks internal ceiling.

Visible extent: Localised.

- Recommendation: Recommendation:
- a. Remove and replace rusted guttering perimeter of dwellings.
  - b. Remove and replace boxed guttering.
  - c. Clear guttering DP chain to water tanks. Repair and ensure ALL DPs chain to water tanks.
  - d. Clear foliage from dwelling.
  - e. Consult a licenced plumber or builder. Blake Crossingham Easy Flo plumbing and gas 0437 404 692. OR builder Danny Christie Building 0434 943 571
- Monitor and IF required.
- a. Add at least 1 x additional DP to the front LH and RH corners of the main dwelling directed to water tanks.

## Photographs



Image comments: Dairy no guttering



Image comments: Carport rusted out guttering



Image comments: Rusted out guttering



Image comments: Rusted out guttering



Image comments: Rusted out guttering





Image comments: Saggign guttering



Image comments: Leaking water tank around crack



Image comments: Inadequate DPs and guttering



Image comments: Sagging rusted guttering into box section





Image comments: Sagging rusted guttering into box section



Image comments: Rusted guttering full of debris

## D19 The grounds

The following evidence of Major Defects was found:

Area	The Site
Location:	Adjacent to the building.
Affected element:	Septic tank
Defect or Sign:	Septic tank connected to main dwelling. <a href="https://www.geographeliquidwaste.com.au/septic-resources">https://www.geographeliquidwaste.com.au/septic-resources</a> <a href="https://www.olg.nsw.gov.au/wp-content/uploads/Easy-septic-guide.pdf">https://www.olg.nsw.gov.au/wp-content/uploads/Easy-septic-guide.pdf</a> a. Unsealed lid. This can allow water egress, harbour pests and allow smell.

Visible extent: Localised.  
Recommendation: Recommendations:  
a. Pump out septic tank. <https://www.midcoastliquidwaste.com.au/>  
b. Sikalax lid top and perimeter to stop water egress and pests harbourage.  
c. Consult a licenced plumber Blake Crossingham Easy flo plumbing and gas 0437 404 692.

Area The Site  
Location: At the rear of the property.  
Affected element: Stormwater run-off.  
Defect or Sign: Groundwater management. 753mm since 01 Jan 2024. Source Taree airport BOM  
a. Groundwater runoff to LHS and rear of main dwelling. Runoff to subfloor.

Visible extent: Localised.  
Recommendation: Recommendation:  
a. Perform all stormwater recommendations as per this report.  
Monitor and IF required.  
a. Add a rubble drain and AG line OR dish drain top of dwelling and carport directed to storm water.  
b. Consult a licenced plumber or builder. Blake Crossingham Easy Flo plumbing and gas 0437 404 692. OR builder Danny Christie Building 0434 943 571

## Photographs



Image comments: Unsealed septic tank





Image comments: Septic tank



Image comments: Runoff to rear of dwelling to subfloor



Image comments: Runoff to rear of dwelling to subfloor

## D20 Walls & fences

No evidence of Major Defects was found.  
Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

## D21 Outbuildings

The following evidence of Major Defects was found:

Area	Outbuildings
Location:	Detached carport and shedding
Affected element:	Structure.
Defect or Sign:	Current carport and shedding not constructed to standards. a. Iron under pitched. Sag in rafters, too large of span for timbers used. Wall frames into ground.
Visible extent:	Localised.
Recommendation:	Recommendations: a. Repair/ replace. Consult a licenced builder. Danny Christie Carpentry 0434 943 571

## Photographs





Image comments: Dairy building span of timbers sags



Image comments: Dairy building span of timbers sags





Image comments: Under pitched carport



Image comments: Dairy building span of timbers sags



Image comments: Under pitched carport

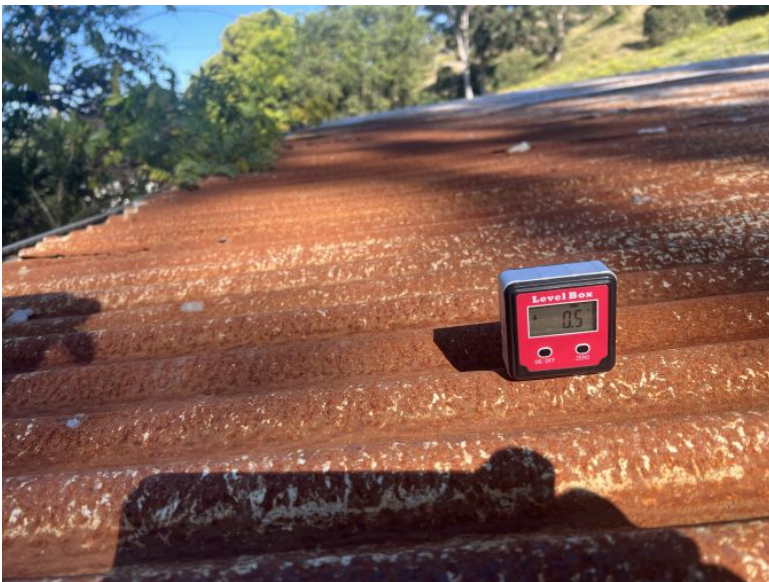


Image comments: Under pitched carport

## Minor defects

The report describes the overall extent of any minor defects and imperfections:

### D22 Minor defects

**Comment:** There are some Minor Defects. Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

**Additional comments:** Minor defects and maintenance observations found include:  
1. HWS DOM Unknown. Estimated as beyond useful life as cupboards built around it. Recommend to service after 10 years to prolong life of unit.  
2. Living room old wall AC unit covered over. Remove unit and repair gap.

3. LHS Bed 2 no light fitted. Electrician to fit lights.
4. LHS Bed 1 and 2 Louver windows bind/ jammed.
5. Sunroom no light, lead light window not latch. No PPs fitted.
6. Bathroom drummy threshold tiles, cracked rear shower tiles. Monitor.
7. Living room french doors bind. Repair.
8. Kitchen water damage to cupboards.
9. LHS sliding door off rollers.
10. Rear games room some windows jammed shut.
11. Front Bed 4 window springs. Replace.

## Section E Timber report

The following items and matters were reported on in accordance with the Scope of Inspection.

### Timber pest attack

Evidence of timber pest activity and/or timber pest damage:

#### E1 Active (live) termites

No evidence of Active (live) termites was found.

Important Note. As a delay may exist between the time of an attack and the appearance of telltale signs associated with the attack, it is possible that termite activity and damage exists though not discernible at the time of inspection.

Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

#### E2 Termite management proposal

Proposal: Although a subterranean termite management proposal is recommended, this Consultant is not engaged to provide a proposal. Accordingly, the Client should contact a licensed pest control operator in respect to obtaining a proposal without delay.

#### E3 Termite workings and/or damage

Area	Outbuildings
Location:	Detached garage.
Affected element:	External wall.
Signs of attack:	Visible damage.
Visible extent:	Widespread.
Recommendation:	Where evidence of an inactive termite infestation exists, it is not possible, without benefit of further investigation and inspections over a period of time, to



ascertain whether any infestation is active or inactive. Continued, regular, inspections are essential. For further advice consult the person who carried out this inspection.

## Photographs



Image comments: Widespread damage



Image comments: Widespread damage



Image comments: Widespread damage

#### E4 Previous termite management program

No evidence was found.

#### E5 Frequency of future inspections

Frequency: The next inspection to help detect termite attack is recommended in 6 months.

Important Note. Australian Standard AS 3660 recognises that regular inspections will not prevent termite attack, but may help in the detection of termite activity. Early detection will allow remedial treatment to be commenced sooner and damage to be minimised.

#### E6 Chemical delignification

No evidence was found.

Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

#### E7 Fungal decay

No evidence of Fungal decay was found.

Important Note. Although no evidence of fungal decay was observed or revealed under test conditions, regular inspections are recommended at intervals not exceeding 12 months.

Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').



## E8 Wood borers

No evidence of Wood borers was found.

Important Note. As a delay may exist between the time of an attack and the appearance of telltale signs associated with an attack, it is possible that borer activity and damage exists though not discernible at the time of inspection. Regular inspections are recommended at intervals not exceeding 12 months.

Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

## Conditions conducive to timber pest attack

The Consultant sought evidence of noticeable building deficiencies or environmental factors that may contribute to the presence of timber pests. In respect of moisture management issues, the inspection included the potential for or presence of water or dampness in unintended locations.

## E9 Lack of adequate subfloor ventilation

Area	Subfloor space
Location:	In general.
Adequacy:	Partially inadequate as cross ventilation is restricted.
Visible extent:	Localised.
Recommendation:	To help protect against the degradation of timber caused by fungal decay and/or insect attack, subfloor ventilation should be monitored

### Photographs



Image comments: Limited crossflow ventilation

## E10 The presence of excessive moisture

No evidence was found.

Important Note. Although no evidence of excessive moisture was observed or revealed under test conditions, it is recommended that the building be monitored over a period of time to detect or confirm any moisture management issues.

Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

## E11 Bridging/breaching of termite management systems

Area	Subfloor space
Location:	At the rear of the building.
Affected element:	Inspection zone.
Defect or Sign:	Bearers concealed by earth.
Visible extent:	Widespread.
Recommendation:	Unless appropriate written evidence of an alternative termite management program is provided, to help protect against undetected termite entry to the building, a continuous inspection zone of at least 75 mm should be provided and maintained. The inspection zone forces termites into the open where they can be detected more readily during regular inspections. For further advice consult the person who carried out this inspection.
Area	Outbuildings
Location:	Detached shed.
Affected element:	Inspection zone to the slab edge.
Defect or Sign:	Bridged.
Visible extent:	Widespread.
Recommendation:	With a concrete slab building, it is essential that the edge of the slab is permanently exposed. An inspection zone of at least 75 mm should be maintained so that termites are forced into the open where they can be detected more readily during regular inspections. Importantly, the edge of the slab should not be rendered, tiled, clad or concealed by flashings, adjoining structures, paving, soil, turf, landscaping or the like. For further advice consult the person who carried out this inspection.

Photographs



Image comments: Rear dwelling bearers to ground



Image comments: Rear dwelling bearers to ground



Image comments: Rear dwelling bearers to ground



Image comments: Timbers to ground





Image comments: Timbers to ground



Image comments: Foliage to dwelling



Image comments: Timbers to ground



Image comments: Timbers to ground



Image comments: Dairy foliage and weatherboards



Image comments: Dairy foliage and weatherboards





Image comments: Dairy foliage and weatherboards



Image comments: Dairy foliage and weatherboards

## E12 Use of untreated or non-durable timber

Area	Subfloor space
Location:	Below the bathroom.
Affected element:	Unprotected formwork.
Defect or Sign:	In direct contact with the ground.
Visible extent:	Localised.
Recommendation:	During construction care should have been taken to ensure all timber off-cuts, formwork, paper, cardboard and other cellulose materials are removed from the soil in the subfloor space and immediate surroundings. After construction stored timber, wood and other cellulose containing materials should have at least 300



mm clearance with the soil surface and foundations.

## Photographs



Image comments: Formwork still in position



Image comments: Formwork still in position



Image comments: Formwork still in position

### E13 Other conditions conducive

No evidence was found.

Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

### Major safety hazards

The Consultant sought evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent major safety hazard. For example, evidence of the imminent collapse of a structural member and other building elements made unsafe by timber pest attack.

### E14 Major safety hazards

No evidence of Major safety hazards was found.

Monitoring and normal maintenance must be carried out (see also Section G 'Important notes').

## Section F Conclusion

Your attention is drawn to advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

### Property report

In the opinion of this Consultant:

Comment 1: The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been

reasonably well maintained was considered: Average.

Comment 2: The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered: Average.

Comment 3: In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered: Average.

## Timber pest report

The following Timber Pest remediation actions are recommended:

- Action 1: Treatment of Timber Pest attack is not required.
- Action 2: In addition to this Report a Subterranean Termite Management Proposal to help manage the risk of future subterranean termite access to buildings and structures is recommended - See item E2.
- Action 3: Removal of Conditions Conducive to Timber Pest Attack is necessary - as detailed in Section E.
- Action 4: Due to the susceptibility of the property to sustaining Timber Pest Attack the next inspection is recommended in 6 months.

## Section G Important notes

### Property report - Important note

Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

### Timber pest report - risk management options

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this Report. The Client should further investigate any high risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the Client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent

inspections where the risk of timber pest attack is high or the building type is susceptible to attack. To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical management system. However, AS 3660 stresses that subterranean termites can bridge or breach management systems and inspection zones and that thorough regular inspections of the building are necessary.

If the Client has any queries or concerns regarding this Report, or the Client requires further information on a risk management program, please do not hesitate to contact the person who carried out this Inspection.

## Section J Certification

This document certifies that the property described in this Report has been inspected by the Building Consultant & Timber Pest Detection Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbooks Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants' & Timber Pest Detection Reports 'Uniform Inspection Guidelines for Timber Pest Detection Consultants'.

Authorised Signatory:

Name: Rodney Oberg

Date of issue: 12-June-2024