



NO SCALE

Client  
**ADRIAN & PETER  
WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

**PROPOSED DWELLING  
ADDITIONS**

COVER PAGE

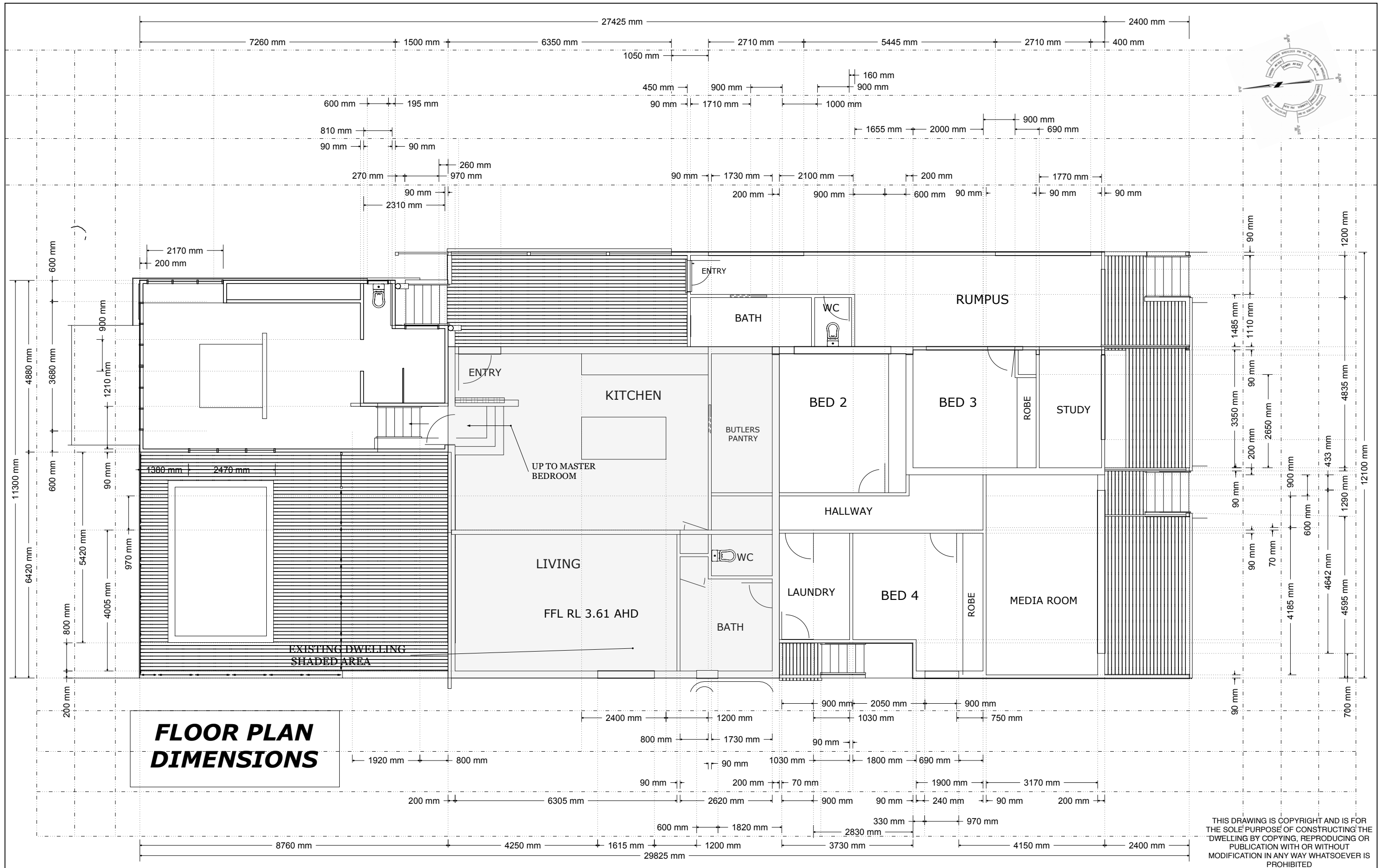
REVISIONS

MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---

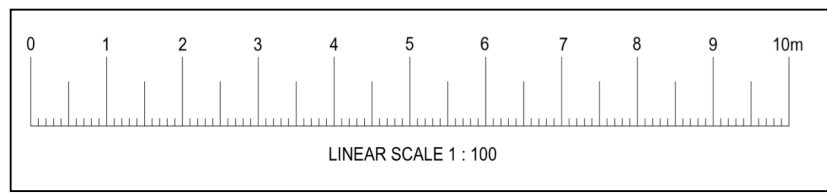
**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484



AW04000



THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED



Client  
**ADRIAN & PETER WARLOW**  
 LOT 122 DP 31166  
 4 ROBIN ST  
 SOUTH GOLDEN BEACH  
 NSW, 2483

**PROPOSED DWELLING ADDITIONS**

**FLOOR PLAN DIMENSIONS**

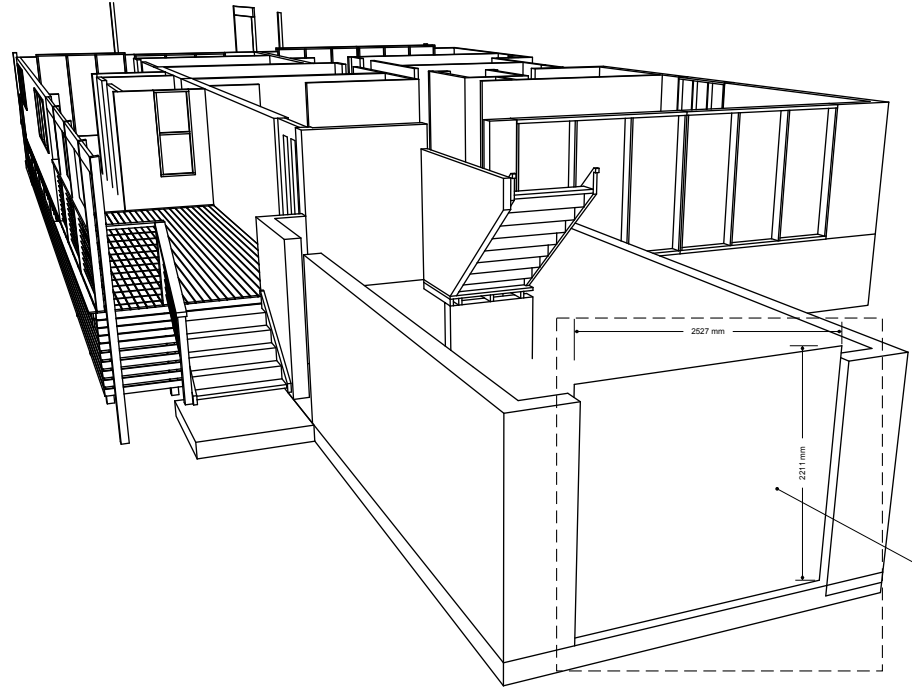
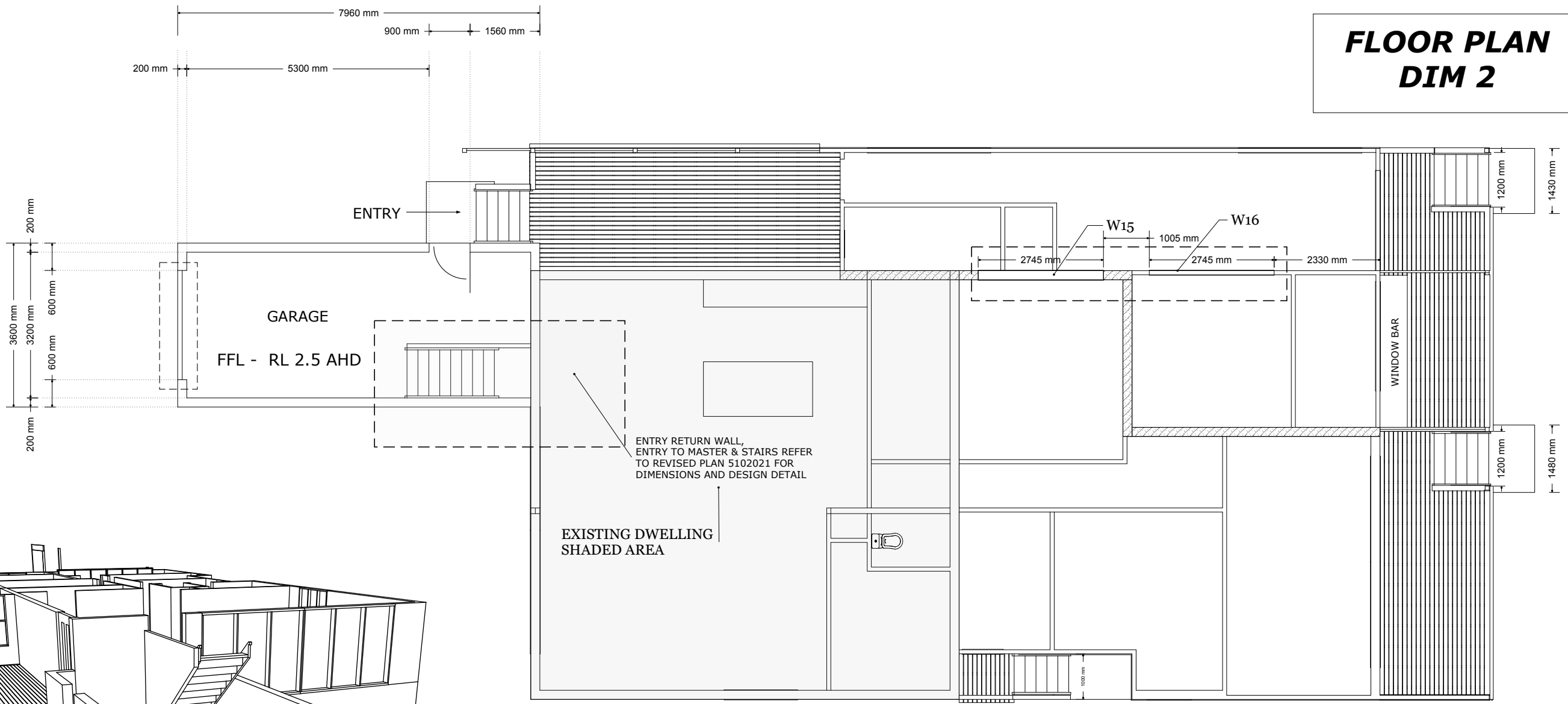
REVISIONS	
MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---

**South Golden Studios**  
 26 Robin St  
 South Golden Beach  
 NSW 2483  
 PH - 02 6680 2286 / 0430 594 484



AW04001

# FLOOR PLAN DIM 2



WINDOW  
W15 - 40/270 ALUM LVR  
W16 - 40/270 ALUM LVR

**FIRE WALL**  
CEMENT CORE FILLED  
200 SERIES BLOCKS  
(SEE ENGINEERS PLAN FOR FIRE WALL DETAIL)

**Hardwired smoke alarms** are powered by 240V mains power and also have a backup 9V battery.

SMOKE ALARM HW TO Australian Standard 3786-2014

INTERNAL NON LOAD BEARING  
STUDS 35 X 70 MGP12 AT 450 C/S  
T-PLATE 35 X 70 MGP12  
B-PLATE 35 X 70 MGP12  
NOGGING 35 X 70 MGP12

EXTERNAL LOAD BEARING  
STUDS 35 X 90 MGP12 AT 450 C/S UP MAX 3.6M  
STUDS 45 X 90 MGP12 AT 300 C/S UP TO 4.6M  
T-PLATE 35 X 90 MGP12  
B-PLATE 35 X 90 MGP12  
NOGGING 35 X 90 MGP12

INTERNAL LOAD BEARING  
STUDS 35 X 90 MGP12 AT 450 C/S  
T-PLATE 35 X 90 MGP12  
B-PLATE 35 X 90 MGP12  
NOGGING 35 X 90 MGP12 AT 1350 MAX C/S

STUDS AND POSTS AT OPENINGS  
ALL STUDS AT OPENINGS 35 X 90 MGP12  
MINIMUM OF TWO STUDS AT SIDES OF ALL OPENINGS

: 10MM PLASTERBOARD TO CEILINGS  
: 10 MM PLASTERBOARD TO WALLS  
: VILLA - BOARD TO WET AREA'S  
: ALL PLASTERBOARD TO BE FIXED TO MAN. SPEC. AND TO TOP AND BOTTOM PLATE WITH 2.8 DIAM FLAT HEAD NAILS AT 450 C/S OR APPROVED PLASTERBOARD SCREWS  
: 4.5 MM HARDIFLEX TO SOFFITTS  
: EXTERNAL WALLS TO BE CLAD WEATHERBOARD (RENDERED PROFILE)  
: EXTERNAL CLADDING TO BE FIXED TO MAN. SPEC WITH APPROVED GAL SCREWS OR NAILS

: ALL CONSTRUCTION REFER TO MEASUREMENTS ILLUSTRATED ON PLAN.  
: ALL CONSTRUCTION TO BE DESIGNED IN ACCORDANCE WITH B.C.A TO THE STANDARD BUILDING BY-LAWS 1975 - 1991  
: FLOORS TO WET AREA'S TO BE FINISHED WITH WATER IMPERVIOUS MATERIAL  
: ALL WET AREA'S TO FALL TO FLOOR WASTE  
: W.C DOOR TO BE FITTED WITH - TAMIC - HINGES OR MADE TO SWING OUT  
: ALL MATERIALS TO BE NEW  
: ALL STAIRWAYS TO COMPLY WITH BY-LAWS OF B.C.A  
: ALL LINTEL SIZES ARE CALCULATED TO CARRY TRUSSES/RAFTERS  
: ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE WORK IS COMMENCED.  
: ALL EARTH MATERIALS EXCAVATED ON SITE FOR CONSTRUCTION TO BE USED TO LEVEL SITE TO AHD.  
ALL EXCAVATED MATERIALS TO BE TREATED ON SITE FOR ACID SULPHATE WITH LIME.  
: GARBAGE TO BE STORED IN COUNCIL APPROVED WASTE BINS AND COLLECTED BY COUNCIL WASTE SERVICE.  
- REFER TO LANDSCAPE PLAN FOR STORAGE POSITION OF GARBAGE BINS ON SITE.  
- GAS BOTTLE STORAGE LOCATION REFER TO - LANDSCAPE PLAN

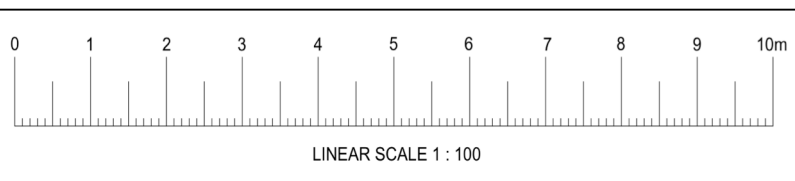
SOLID CASEMENT WINDOWS IN ROOF TO BE CONSTRUCTED BY THE BUILDER. SIZES TO BE DETERMINED BASED ON STRUCTURAL ASPECTS OF RAFTER ENGINEERING.

ENTRY DOOR TO BE HARDWOOD. SIZE AND DESIGN TO BE DETERMINED BY BUILDER/OWNER.

ALL EXTERNAL POSTS 115 X 115 / 90 X 90 KWILA HARDWOOD  
EXTERNAL BEARERS AND JOISTS TO BE F27 KD HARDWOOD.  
DECKING BOARDS TO BE HARDWOOD FIXED WITH LOCKING NAILS OR DECKNG SCREWS  
FOOTINGS / RAFT SLAB / SUB FLOOR AND RAFTER DESIGN TO REFER TO ENGINEER.  
**FFL TO BE — RL 2.5 AHD**

THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED

RAKED CEILING 240 X 45MM LVL hySPAN AT MAX 600 C/S  
EXTERNAL WALL IN WEATHER BOARD  
INTERNAL WALL LINING WITH 10MM PLASTERBOARD (GYPROCK)  
CEILING LINING WITH 10MM PLASTERBOARD (GYPROCK)



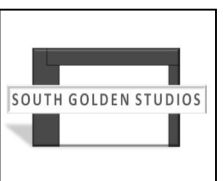
Client  
**ADRIAN & PETER  
WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

**PROPOSED DWELLING  
ADDITIONS**

**GARAGE/HIGH WALL  
DIMENSIONS**

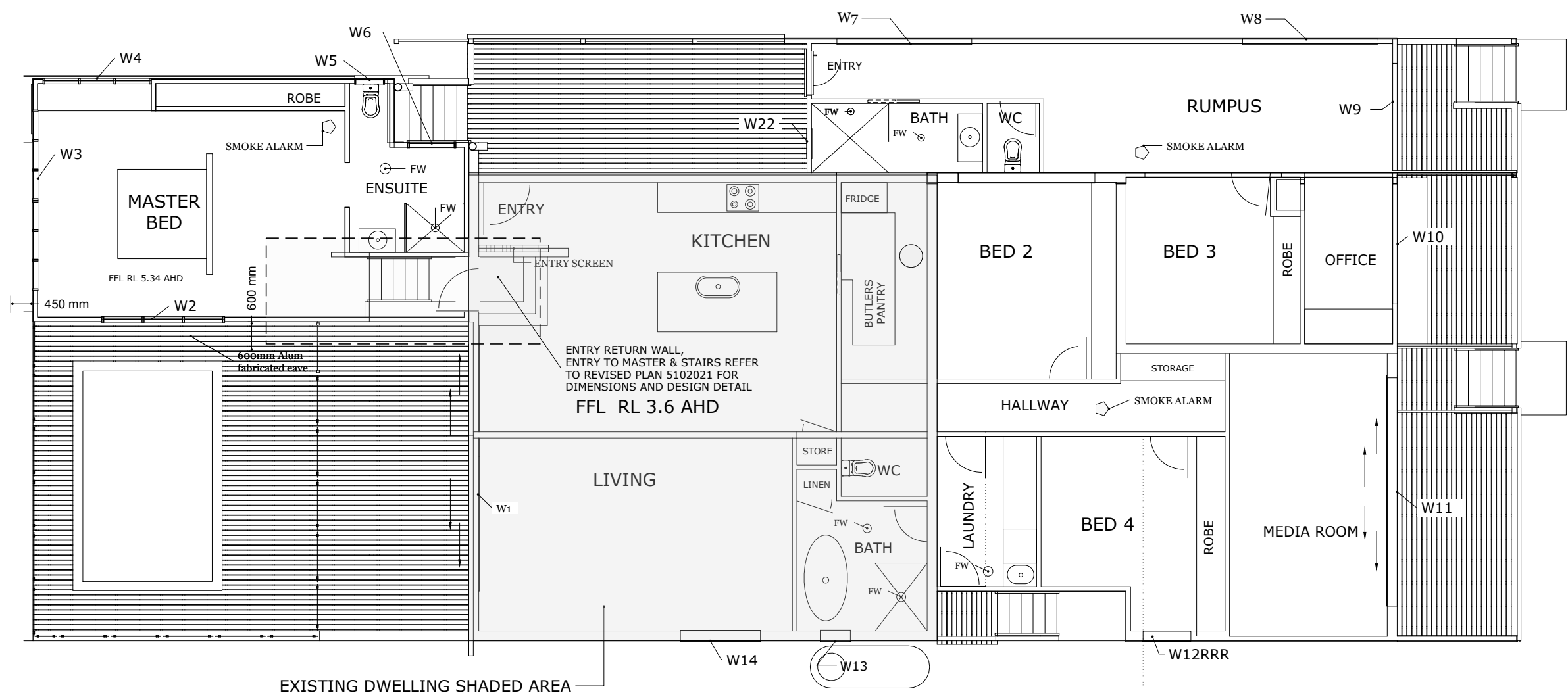
REVISIONS	
MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---

**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484



AW04002

# FLOOR PLAN LAYOUT 1



Living -	40.47 Sqm
Kitchen -	28.2 Sqm
Master Bed -	32 Sqm
Bed 2 -	11.85 Sqm
Bed 3 -	10 Sqm
Bed 4 -	11.27 Sqm
Baths WC -	15.94 Sqm
Ensuite -	4.65 Sqm
Hallways -	5.29 Sqm
Robe -	7.3 Sqm
Stairwell -	3.42 Sqm
Media -	19.5 Sqm
Rumpus -	18.9 Sam
Wet bar -	6.4 Sqm
Walls & cbs -	13.31 Sqm
Garage -	27 Sqm
Laundry -	6.05 Sqm
<b>Total -</b>	<b>234.55 Sqm</b>

Rear Decks -	29 Sqm
Pool Deck -	30.65 Sqm
Pool -	20 Sqm
Lndry Stair -	2.45 Sqm
Entry Deck -	18.2 Sqm
<b>Total -</b>	<b>80 Sqm (inc pool)</b>

**TOTAL BUILDING AREA - 234.85 SQM 40.2%**

**TOTAL DECK AREA - 80 SQM 13.7%**

**TOTAL POOL AREA - 20 SQM 3.4%**

**TOTAL SITE AREA - 581 SQM**

## WINDOWS

- 1 - 210/540 ALUM STACKER FSSSSF
  - 2 - 180/240 ALUM SLIDER 2100 HEAD
  - 3 - 800/3680 ALUM LOUVRE 4/PANEL 2100 HEAD
  - 4 - 120/210 ALUM SLIDER 2100 HEAD
  - 5 - 90/60 ALUM LVR 2100 HEAD
  - 6 - 90/90 ALUM LVR 2100 HEAD
  - 7 - 90/270 ALUM SLIDER 2100 HEAD
  - 8 - 90/270 ALUM SLIDER 2100 HEAD
  - 9 - 210/220 ALUM SLIDING DOOR
  - 10 - 10/220 ALUM BIFOLD
  - 11 - 210/380 ALUM STACKER FSSSSF
  - 12 - 90/140 ALUM LVR 2100 HEAD
  - 13 - 60/90 ALUM SLIDER 2100 HEAD
  - 14 - 120/160 ALUM SLIDER 2100 HEAD
  - 15 - 40/270 ALUM LVR
  - 16 - 40/270 ALUM LVR
  - 17 - 450 X 900 ALUM SKYLIGHT CLEAR
  - 18 - 450 X 900 ALUM SKYLIGHT CLEAR
  - 19 - 450 X 900 ALUM SKYLIGHT CLEAR
  - 20 - 450 X 900 ALUM SKYLIGHT CLEAR
  - 21 - 450 X 900 ALUM SKYLIGHT CLEAR
  - 22 - 60X60 ALUM FROSTED
- (ALL WINDOWS BAR SKYLIGHTS TO BE 2100 HEAD UNLESS NOTED OTHERWISE)

- RAKED CEILING 240 X 45MM LVL hySPAN AT MAX 600 C/S
- EXTERNAL WALL IN WEATHER BOARD
- INTERNAL WALL LINING WITH 10MM PLASTERBOARD (GYPROCK)
- CEILING LINING WITH 10MM PLASTERBOARD (GYPROCK)
- 10MM PLASTERBOARD TO CEILINGS
- 10 MM PLASTERBOARD TO WALLS
- VILLA - BOARD TO WET AREA'S
- ALL PLASTERBOARD TO BE FIXED TO MAN. SPEC. AND TO TOP AND BOTTOM PLATE WITH 2.8 DIAM FLAT HEAD NAILS AT 450 C/S OR APPROVED PLASTERBOARD SCREWS
- 4.5 MM HARDIFLEX TO SOFFITTS
- EXTERNAL WALLS TO BE CLAD WEATHERBOARD (RENDERED PROFILE)
- EXTERNAL CLADDING TO BE FIXED TO MAN. SPEC WITH APPROVED GAL SCREWS OR NAILS

- EXTERNAL LOAD BEARING**
- STUDS 35 X 90 MGP12 AT 450 C/S UP MAX 3.6M
  - STUDS 45 X 90 MGP12 AT 300 C/S UP TO 4.6M
  - T-PLATE 35 X 90 MGP12
  - B-PLATE 35 X 70 MGP12
  - NOGGING 35 X 90 MGP12

- INTERNAL NON LOAD BEARING**
- STUDS 35 X 70 MGP12 AT 450 C/S
  - T-PLATE 35 X 70 MGP12
  - B-PLATE 35 X 70 MGP12
  - NOGGING 35 X 70 MGP12

- INTERNAL LOAD BEARING**
- STUDS 35 X 90 MGP12 AT 450 C/S
  - T-PLATE 35 X 90 MGP12
  - B-PLATE 35 X 90 MGP12
  - NOGGING 35 X 90 MGP12 AT 1350 MAX C/S

- STUDS AND POSTS AT OPENINGS**
- ALL STUDS AT OPENINGS 35 X 90 MGP12
  - MINIMUM OF TWO STUDS AT SIDES OF ALL OPENINGS

- : ALL CONSTRUCTION REFER TO MEASUREMENTS ILLUSTRATED ON PLAN.
- : ALL CONSTRUCTION TO BE DESIGNED IN ACCORDANCE WITH B.C.A TO THE STANDARD BUILDING BY-LAWS 1975 - 1991
- : FLOORS TO WET AREA'S TO BE FINISHED WITH WATER IMPERVIOUS MATERIAL
- : ALL WET AREA'S TO FALL TO FLOOR WASTE
- : W.C DOOR TO BE FITTED WITH - TAMIC - HINGES OR MADE TO SWING OUT
- : ALL MATERIALS TO BE NEW
- : ALL STAIRWAYS TO COMPLY WITH BY-LAWS OF B.C.A
- : ALL LINTEL SIZES ARE CALCULATED TO CARRY TRUSSES/RAFTERS
- : ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE WORK IS COMMENCED.
- : ALL EARTH MATERIALS EXCAVATED ON SITE FOR CONSTRUCTION TO BE USED TO LEVEL SITE TO AHD.
- ALL EXCAVATED MATERIALS TO BE TREATED ON SITE FOR ACID SULPHATE WITH LIME.
- : GARBAGE TO BE STORED IN COUNCIL APPROVED WASTE BINS AND COLLECTED BY COUNCIL WASTE SERVICE.
- REFER TO LANDSCAPE PLAN FOR STORAGE POSITION OF GARBAGE BINS ON SITE.
- GAS BOTTLE STORAGE LOCATION REFER TO - LANDSCAPE PLAN

SOLID CASEMENT WINDOWS IN ROOF TO BE CONSTRUCTED BY THE BUILDER. SIZES TO BE DETERMINED BASED ON STRUCTURAL ASPECTS OF RAFTER ENGINEERING.

ENTRY DOOR TO BE HARDWOOD. SIZE AND DESIGN TO BE DETERMINED BY BUILDER/OWNER.

ALL EXTERNAL POSTS 115 X 115 / 90 X 90 KWILA HARDWOOD EXTERNAL BEARERS AND JOISTS TO BE F27 KD HARDWOOD. DECKING BOARDS TO BE HARDWOOD FIXED WITH LOCKING NAILS OR DECKNG SCREWS

FOOTINGS / RAFT SLAB / SUB FLOOR AND RAFTER DESIGN TO REFER TO ENGINEER.

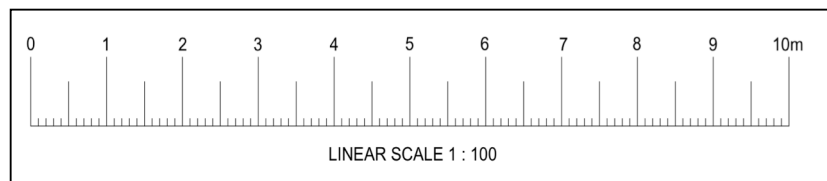
## FFL TO BE - RL 3.6 AHD

Hardwired smoke alarms are powered by 240V mains power and also have a backup 9V battery.

SMOKE ALARM HW TO Australian Standard 3786-2014

THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED

NOTE - WHERE ALTERNATE STRESS GRADES ARE USED, ALL SIZES ARE TO COMPLY WITH A.S. 1684.2 - 2006



Client  
**ADRIAN & PETER WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

## PROPOSED DWELLING ADDITIONS LAYOUT NOTATION PLAN

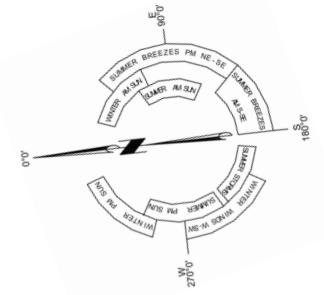
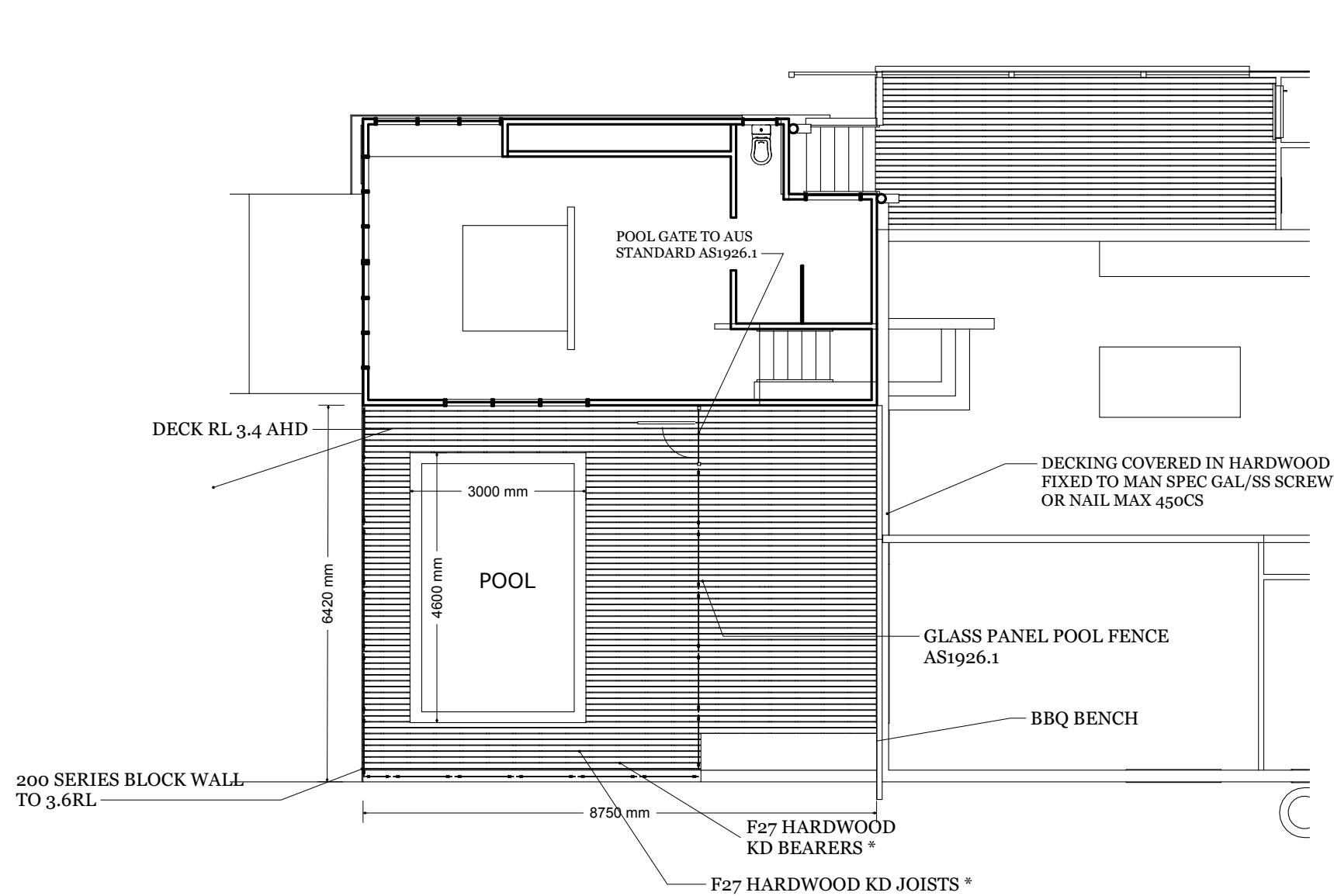
REVISIONS	
MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---

**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484



AW04003

# POOL PLAN DECK DIM

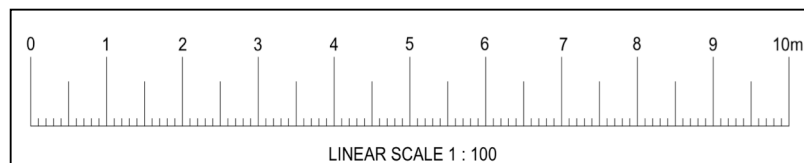


ALL EXTERNAL POSTS 90X90 3MM HOT DIP GAL / 115 X 115 / 90 X 90 KWILA HARDWOOD  
EXTERNAL BEARERS AND JOISTS TO BE F27 KD HARDWOOD.  
DECKING BOARDS TO BE HARDWOOD FIXED WITH LOCKING NAILS OR DECKNG SCREWS

**\* FOOTINGS / RAFT SLAB / SUB FLOOR AND DESIGN TO REFER TO ENGINEER.**

**FFL TO BE — \ RL 3.4 AHD**

THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED



Client  
**ADRIAN & PETER WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

## PROPOSED DWELLING ADDITIONS

### POOL AND DECKING

#### REVISIONS

MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---





**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484



AW04004

# FOOTING PLAN DIMENSIONS

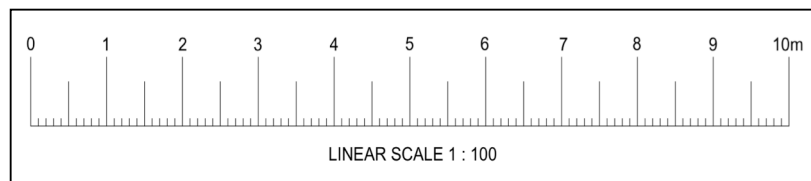
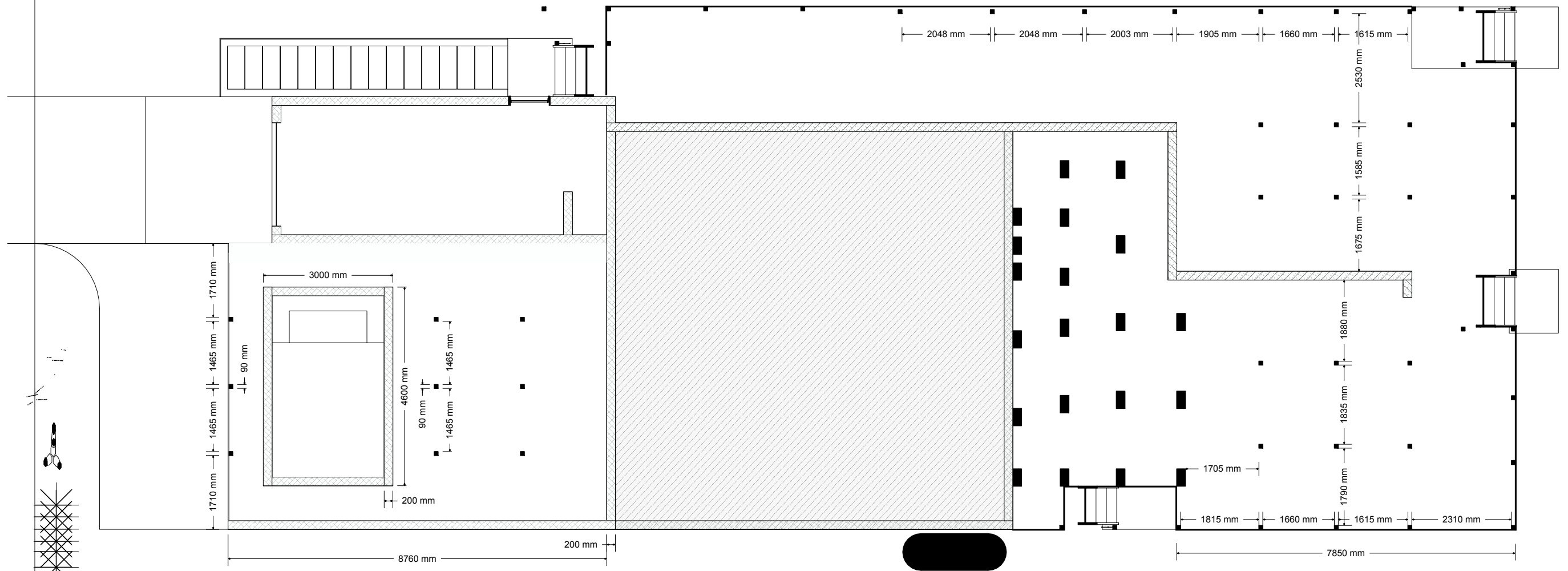


-  EXISTING BLOCK FOOTINGS
-  FIRE WALL CEMENT CORE FILLED 200 SERIES BLOCK (REFER TO ENGINEER)
-  BLOCK WALL FOOTING (REFER TO ENGINEER)
-  EXISTING DWELLING SUB FLOOR

ALL EXTERNAL POSTS 115 X 115 / 90 X 90 KWILA HARDWOOD  
 EXTERNAL BEARERS AND JOISTS TO BE F27 KD HARDWOOD.  
 DECKING BOARDS TO BE HARDWOOD FIXED WITH LOCKING NAILS OR DECKING SCREWS

FOOTINGS / RAFT SLAB / SUB FLOOR AND RAFTER DESIGN TO REFER TO ENGINEER.

**FFL TO BE -3.6M AHD**



Client  
**ADRIAN & PETER WARLOW**  
 LOT 122 DP 31166  
 4 ROBIN ST  
 SOUTH GOLDEN BEACH  
 NSW, 2483

## PROPOSED DWELLING ADDITIONS

### FOOTING PLAN DIMENSIONS

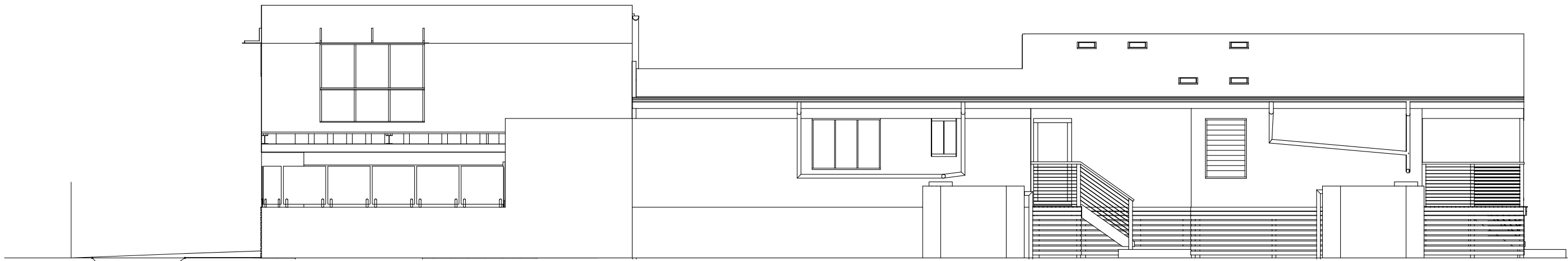
REVISIONS	
MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---

**South Golden Studios**  
 26 Robin St  
 South Golden Beach  
 NSW 2483  
 PH - 02 6680 2286 / 0430 594 484



AW04005

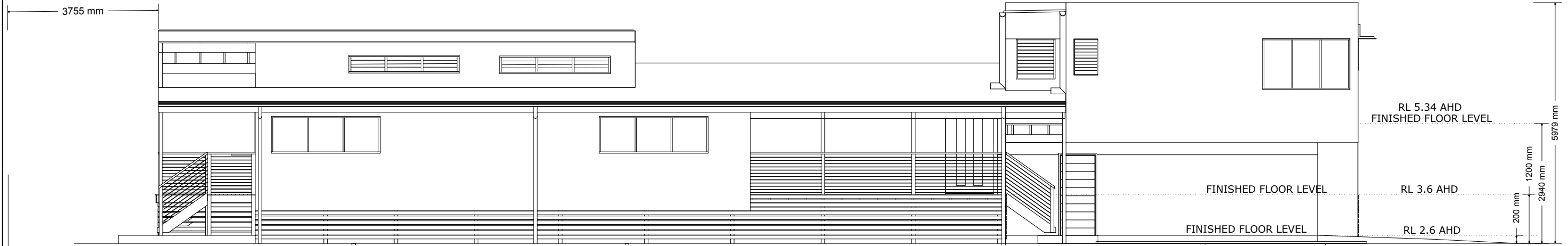
**ELEVATIONS  
EAST / WEST**



**WEST ELEVATION**

EXISTING GROUND LEVEL TO REMAIN  
NO PROPOSED CHANGE. LOT IS FLAT WITH  
A MAX VARIATION OF 150MM. THIS WILL HAVE  
NO BEARING EFFECT ON THE PROPOSED ADDITION.

SITE BOUNDARY FRONT (NORTH)

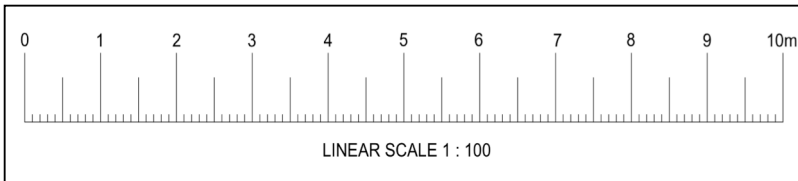


**EAST ELEVATION**

EXISTING GROUND RL 2.4 AHD

SITE BOUNDARY

THIS DRAWING IS COPYRIGHT AND IS FOR  
THE SOLE PURPOSE OF CONSTRUCTING THE  
DWELLING BY COPYING, REPRODUCING OR  
PUBLICATION WITH OR WITHOUT  
MODIFICATION IN ANY WAY WHATSOEVER IS  
PROHIBITED



Client  
**ADRIAN & PETER  
WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

**PROPOSED DWELLING  
ADDITIONS**  
  
**EAST WEST ELEVATIONS**

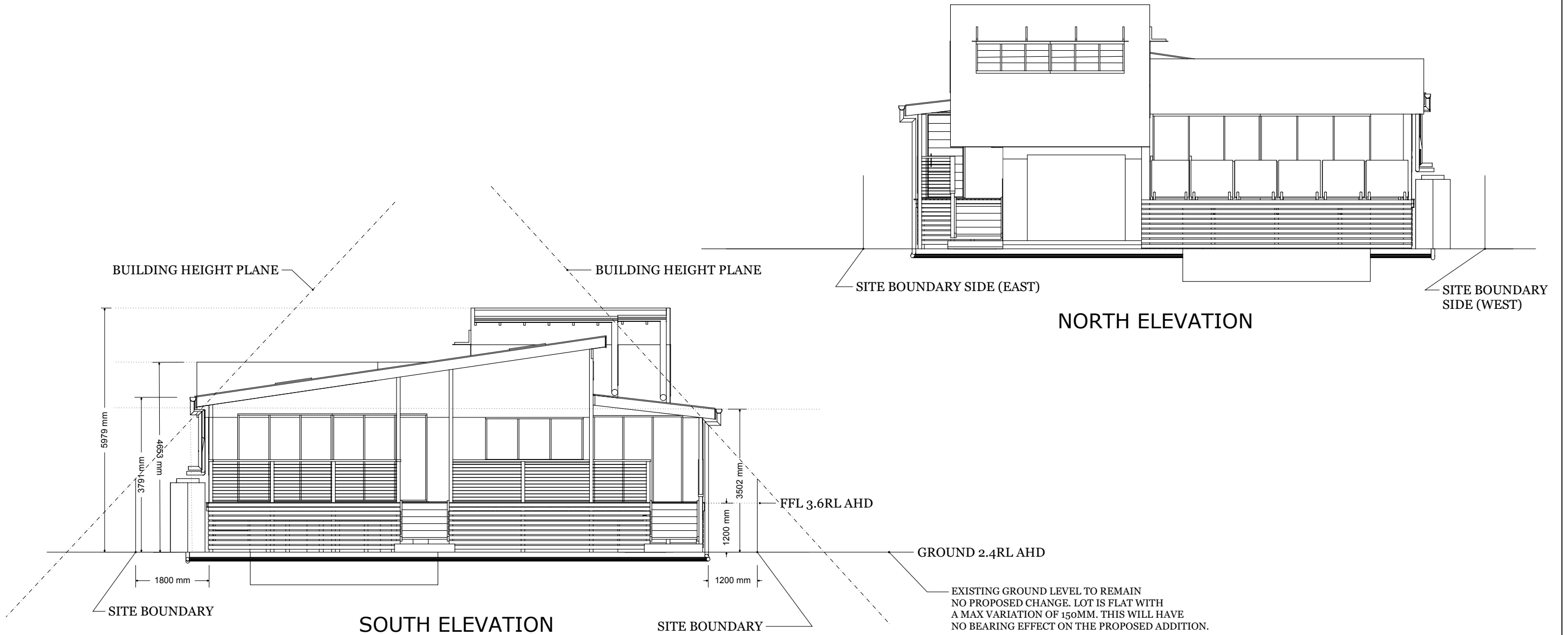
REVISIONS	
MM/DD/YY	REMARKS
1 20/07/21	...NOTATION FOR BOUNDARY & GROUND RL
2 --/--/--	...
3 --/--/--	...
4 --/--/--	...
5 --/--/--	...

**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484

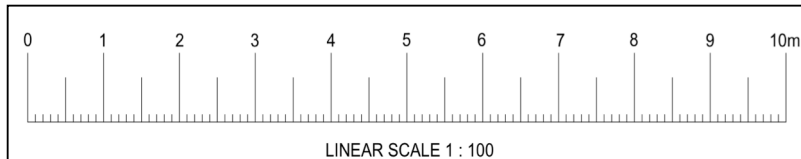


AW04006

# ELEVATIONS NTH / STH



THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED



Client  
**ADRIAN & PETER  
WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

**PROPOSED DWELLING  
ADDITIONS**  
**NORTH SOUTH ELEVATIONS**

REVISIONS	
MM/DD/YY	REMARKS
1 20/07/21	...NOTATION FOR BOUNDARY & GROUND RL
2	...
3	...
4	...
5	...

**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484



AW04007

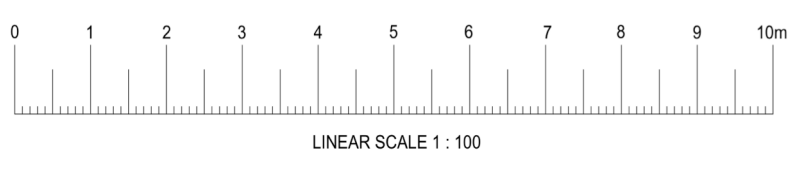
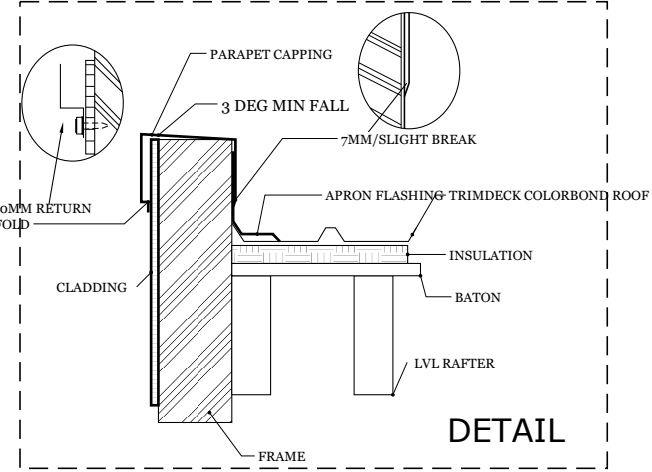
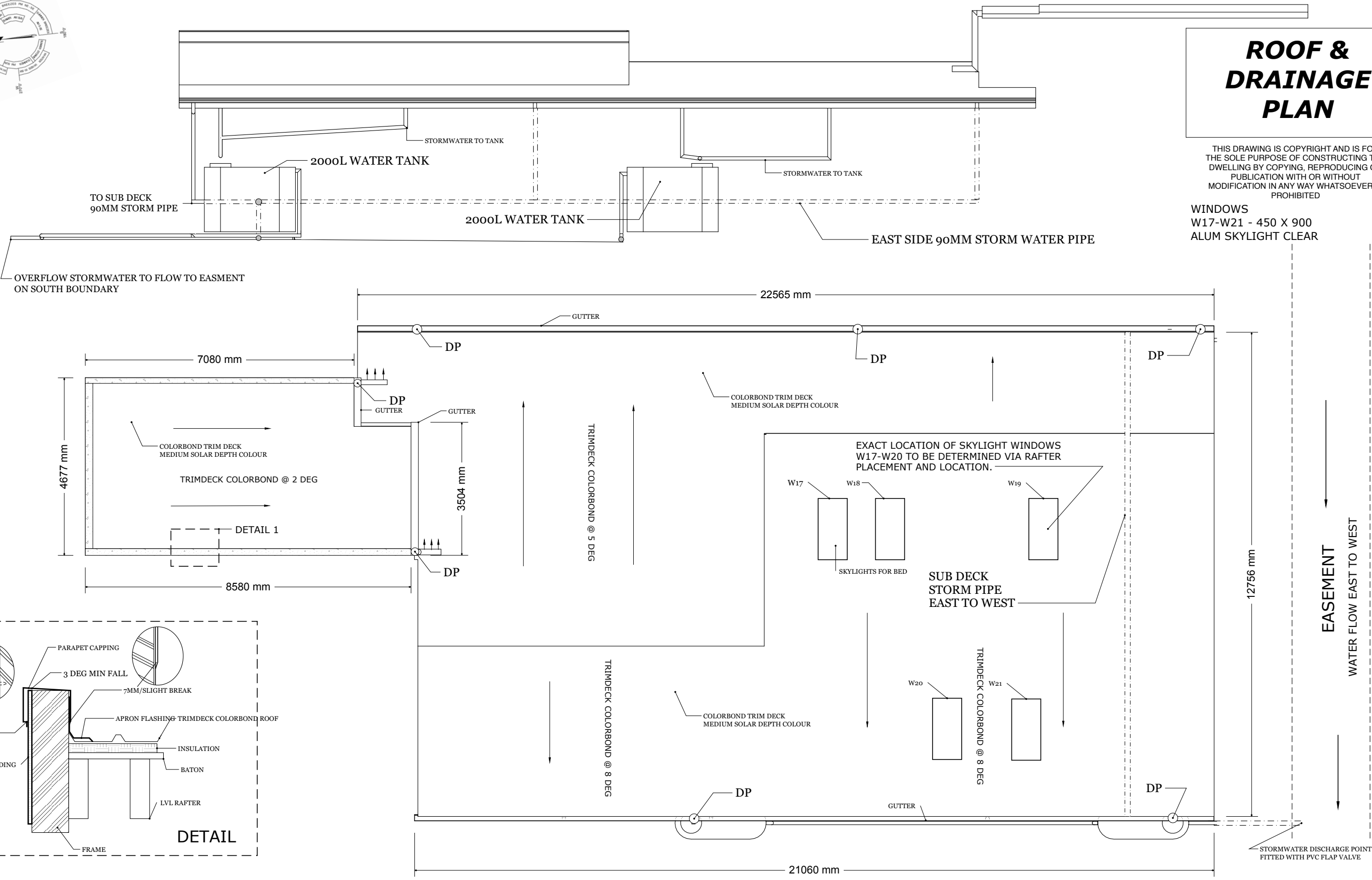




# ROOF & DRAINAGE PLAN

THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED

WINDOWS  
W17-W21 - 450 X 900  
ALUM SKYLIGHT CLEAR



Client  
**ADRIAN & PETER WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

PROPOSED DWELLING ADDITIONS

ROOF AND DRAINAGE PLAN

REVISIONS	
MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---

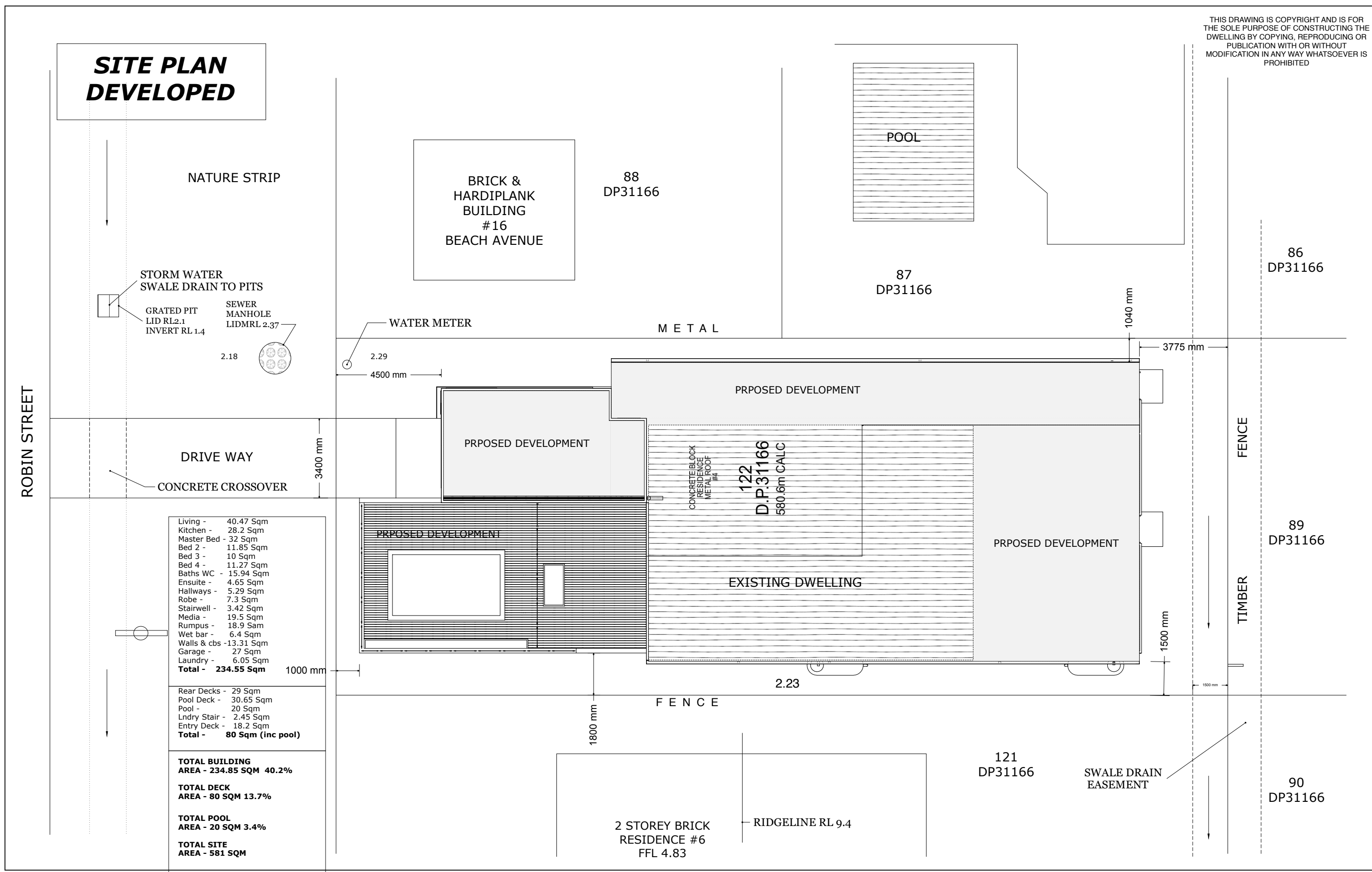
**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484



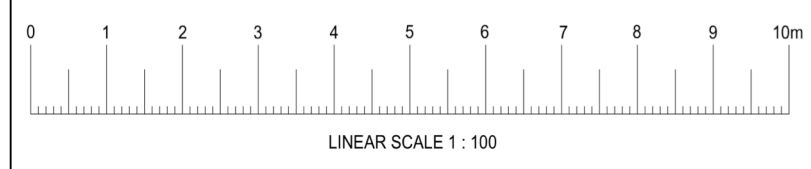
AW04008

THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED

# SITE PLAN DEVELOPED



Living -	40.47 Sqm
Kitchen -	28.2 Sqm
Master Bed -	32 Sqm
Bed 2 -	11.85 Sqm
Bed 3 -	10 Sqm
Bed 4 -	11.27 Sqm
Baths WC -	15.94 Sqm
Ensuite -	4.65 Sqm
Hallways -	5.29 Sqm
Robe -	7.3 Sqm
Stairwell -	3.42 Sqm
Media -	19.5 Sqm
Rumpus -	18.9 Sam
Wet bar -	6.4 Sqm
Walls & cbs -	13.31 Sqm
Garage -	27 Sqm
Laundry -	6.05 Sqm
<b>Total -</b>	<b>234.55 Sqm</b>
1000 mm	
Rear Decks -	29 Sqm
Pool Deck -	30.65 Sqm
Pool -	20 Sqm
Lndry Stair -	2.45 Sqm
Entry Deck -	18.2 Sqm
<b>Total -</b>	<b>80 Sqm (inc pool)</b>
<b>TOTAL BUILDING AREA - 234.85 SQM 40.2%</b>	
<b>TOTAL DECK AREA - 80 SQM 13.7%</b>	
<b>TOTAL POOL AREA - 20 SQM 3.4%</b>	
<b>TOTAL SITE AREA - 581 SQM</b>	



Client  
**ADRIAN & PETER WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

**PROPOSED DWELLING ADDITIONS**  
**SITE PLAN DEVELOPED**

REVISIONS	
MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---

**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484



**A 01**

# CURRENT SITE OVERLAY

ROBIN STREET

Living -	40.47 Sqm
Kitchen -	28.2 Sqm
Master Bed -	32 Sqm
Bed 2 -	11.85 Sqm
Bed 3 -	10 Sqm
Bed 4 -	11.27 Sqm
Baths WC -	15.94 Sqm
Ensuite -	4.65 Sqm
Hallways -	5.29 Sqm
Robe -	7.3 Sqm
Stairwell -	3.42 Sqm
Media -	19.5 Sqm
Rumpus -	18.9 Sam
Wet bar -	6.4 Sqm
Walls & cbs -	13.31 Sqm
Garage -	27 Sqm
Laundry -	6.05 Sqm
Total -	234.55 Sqm

TOTAL BUILDING AREA - 234.85 SQM 40.2%

TOTAL DECK AREA - 80 SQM 13.7%

TOTAL POOL AREA - 20 SQM 3.4%

TOTAL SITE AREA - 581 SQM

Rear Decks -	29 Sqm
Pool Deck -	30.65 Sqm
Pool -	20 Sqm
Lndry Stair -	2.45 Sqm
Entry Deck -	18.2 Sqm
Total -	80 Sqm (inc pool)

SCALE 1:182

Client  
**ADRIAN & PETER WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

## PROPOSED DWELLING ADDITIONS

### CURRENT SITE OVERLAY

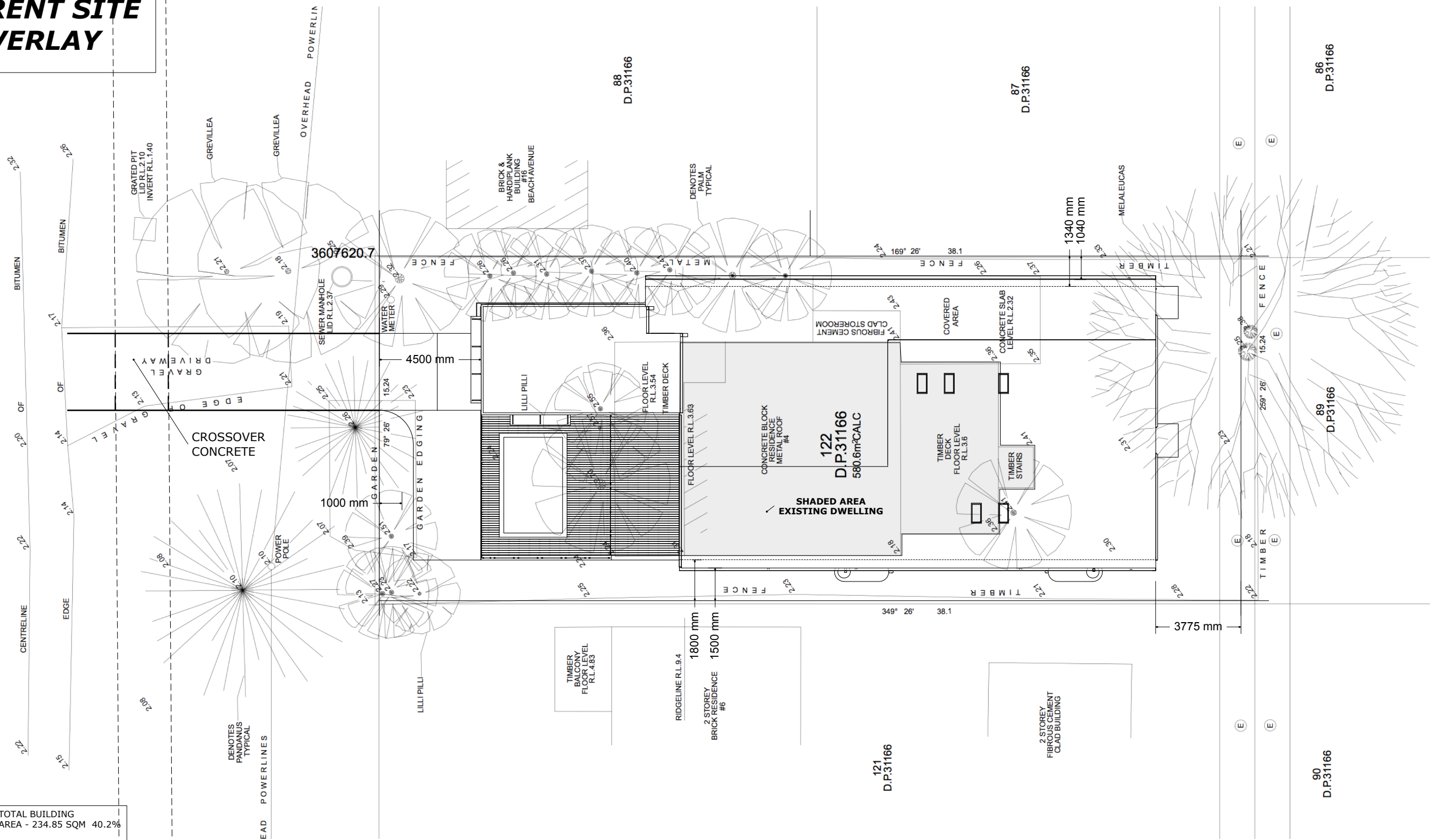
REVISIONS	
MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---

**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484

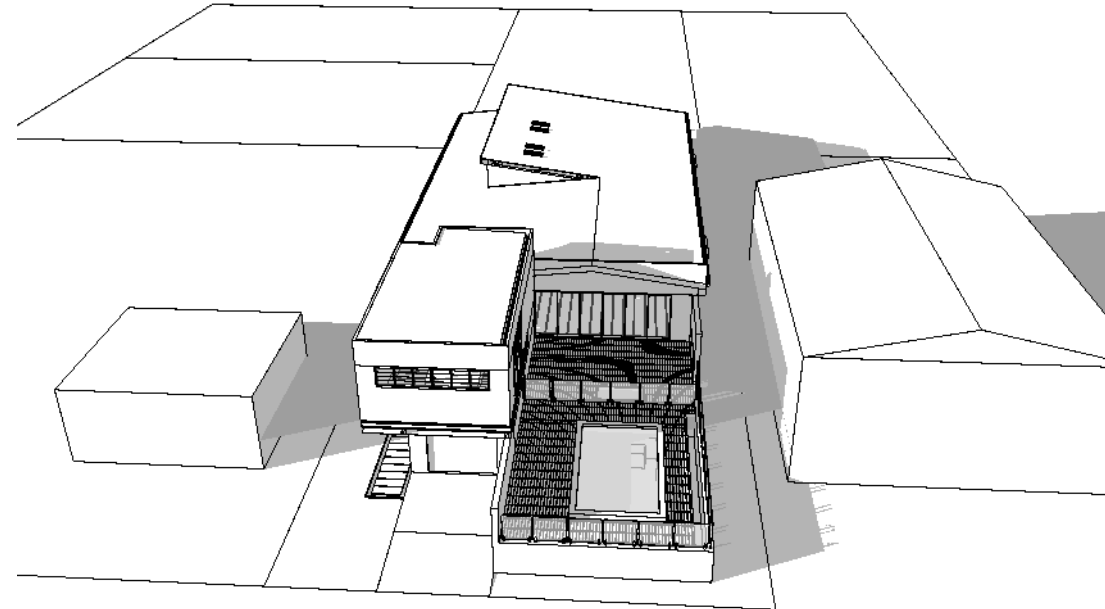


AW04009

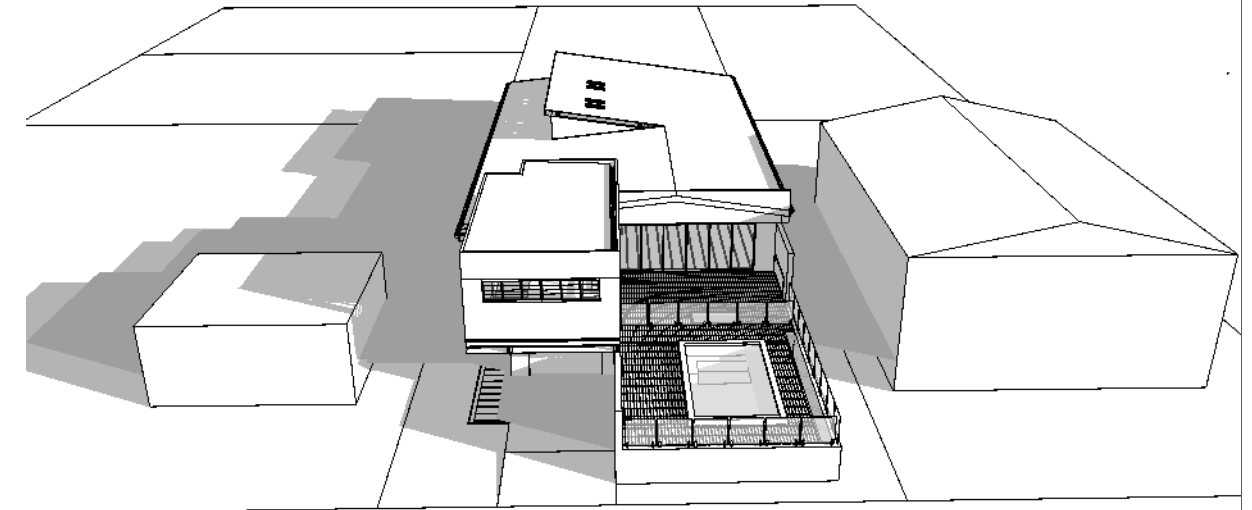
THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED



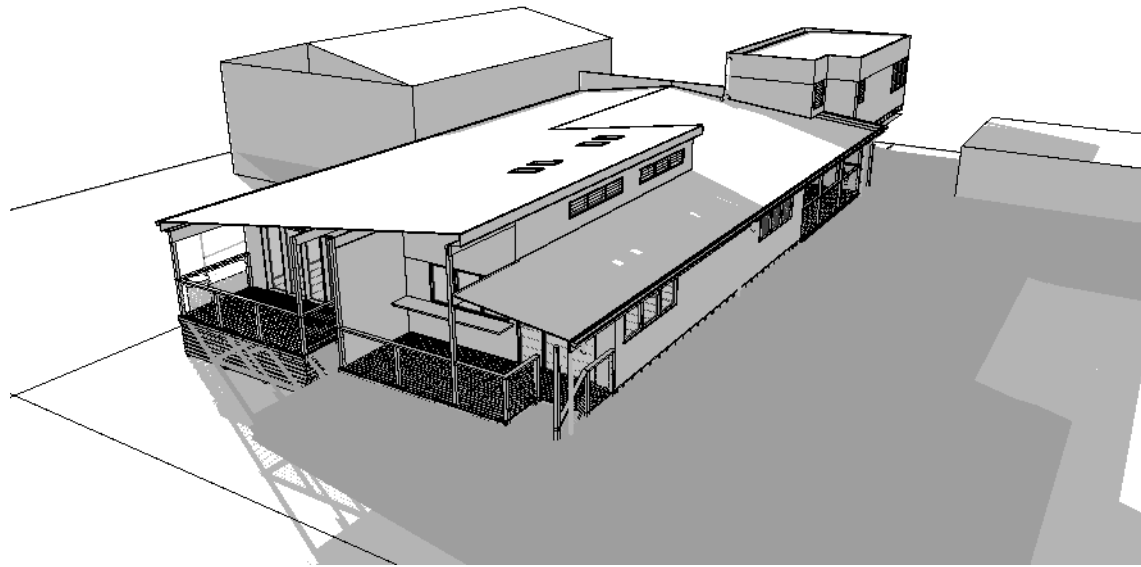
**SHADOW  
PLAN  
SUMMER**



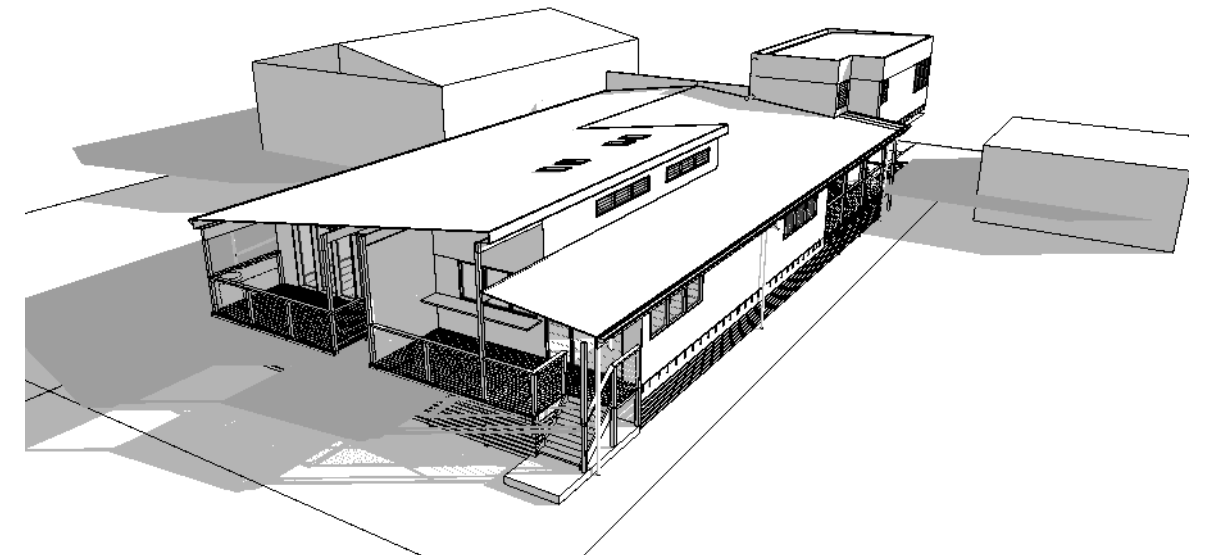
NORTH ELEVATION 6AM EST



NORTH ELEVATION 6PM EST



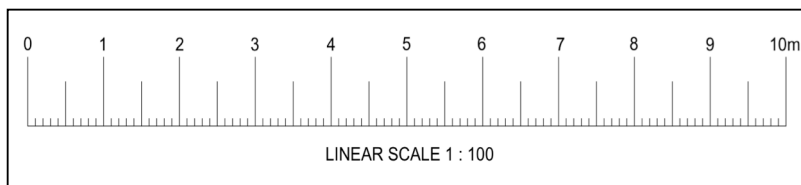
SOUTH EAST ELEVATION 6PM EST



SOUTH EAST ELEVATION 6AM EST

SHADOWING SHOWN IN SUMMER MONTHS

THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED



Client  
**ADRIAN & PETER  
WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

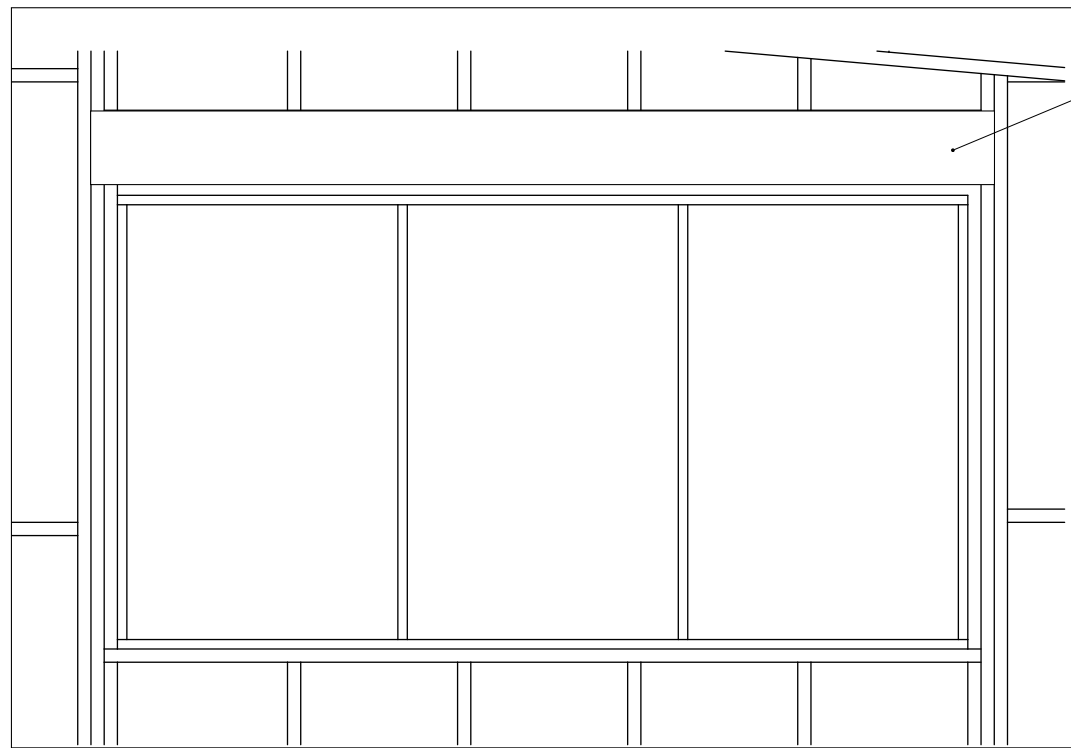
PROPOSED DWELLING  
ADDITIONS  
  
SHADOW PLAN SUMMER

REVISIONS	
MM/DD/YY	REMARKS
1	---/---/---
2	---/---/---
3	---/---/---
4	---/---/---
5	---/---/---

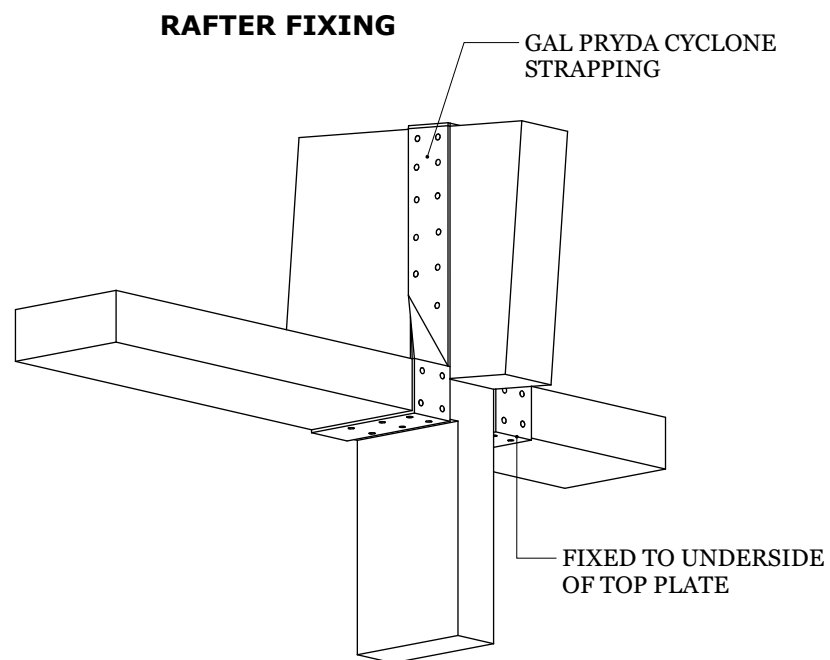
**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484



AW04010



LINTEL DETAIL.



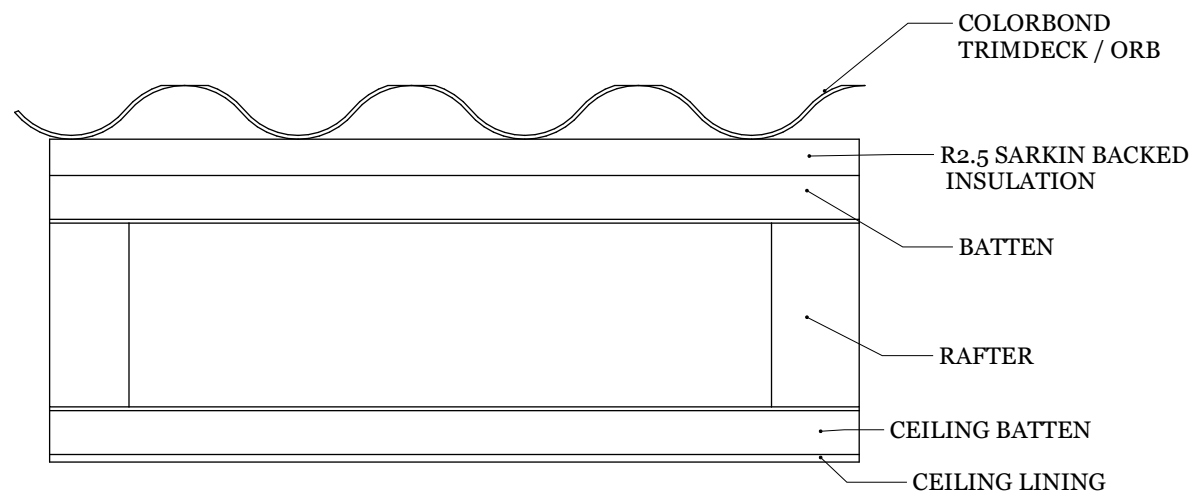
RAFTER FIXING

GAL PRYDA CYCLONE STRAPPING

FIXED TO UNDERSIDE OF TOP PLATE

RAFTER FIXED TO TOP PLATE WITH 2.8 DIAM FLAT HEAD NAILS TO BCA STANDARD

**ROOF CROSS SECTION INSULATION**



COLORBOND TRIMDECK / ORB

R2.5 SARKIN BACKED INSULATION

BATTEN

RAFTER

CEILING BATTEN

CEILING LINING

-EXTERNAL WALL LINING WITH 4-6MM WATER IMPERVIOUS CEMENT FIBRE BOARD  
 -INTERNAL WALL LINING 10MM PLASTERBOARD (GYPROCK)  
 -CEILING LINING WITH 10MM PLASTERBOARD (GYPROCK)

EXTERNAL LOAD BEARING

STUDS 35 X 90 MGP12 AT 450C/S UP MAX 3.6M  
 STUDS 45 X 90 MGP12 AT 300C/S UP TO 4.6M  
 T-PLATE 35 X 90 MGP12  
 B-PLATE 35 X 90 MGP12  
 NOGGING 35 X 90 MGP12

EXTERNAL NON LOAD BEARING

STUDS 35 X 90 MGP12 AT 450C/S UP MAX 3.6M  
 STUDS 45 X 90 MGP12 AT 300C/S UP TO 4.6M

INTERNAL LOAD BEARING

STUDS 35 X 90 MGP12 AT 450C/S  
 T-PLATE 35 X 90 MGP12  
 B-PLATE 35 X 90 MGP12  
 NOGGING 35 X 90 MGP12

INTERNAL NON LOAD BEARING

STUDS 35 X 70 MGP12 AT 450C/S  
 T-PLATE 35 X 70 MGP12  
 B-PLATE 35 X 70 MGP12  
 NOGGING 35 X 70 MGP12

ALL STUDS AT OPENINGS 35 X 90 MGP12  
 MINIMUM OF 2 STUDS AT SIDES OF ALL OPENINGS

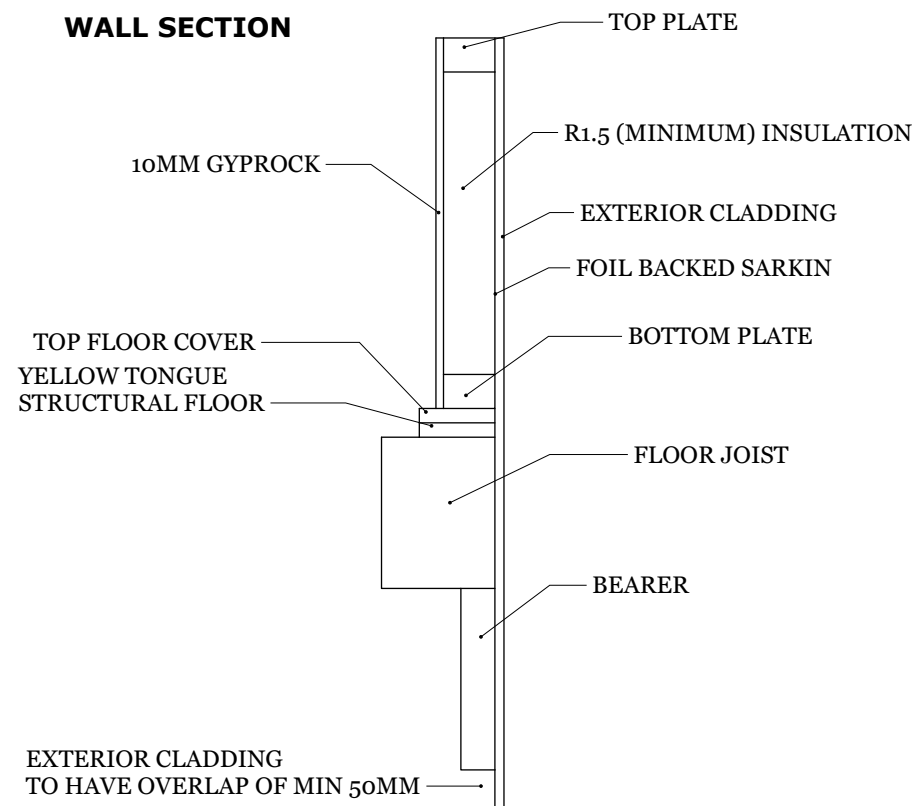
**LINTELS:**

- 2600MM - 240 X 45MM LVL
- 2400MM - 240 X 35MM LVL
- 1800MM - 190 X 45MM LVL
- 1600MM - 170 X 45MM LVL
- 1400MM - 170 X 35MM LVL
- 1200MM - 120 X 35MM LVL
- 900MM - 120 X 35MM LVL
- 600MM - 90 X 45MM MGP10
- 450MM - 90 X 45MM MGP10

THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED

ALL SPECIFICATIONS FOR LVL MATERIALS TAKEN FROM MANUFACTURERS SPAN TABLES REFER TO - <http://www.chhwoodproducts.com.au/userfiles/6/file/hySPAN-Span-Guide-28pp-Sep11.pdf> IF ALTERNATE MATERIALS USED REFER TO MANUFACTURERS SPECIFICATIONS AND SPAN TABLES

**WALL SECTION**



TOP PLATE

R1.5 (MINIMUM) INSULATION

10MM GYPROCK

EXTERIOR CLADDING

FOIL BACKED SARKIN

BOTTOM PLATE

TOP FLOOR COVER  
 YELLOW TONGUE  
 STRUCTURAL FLOOR

FLOOR JOIST

BEARER

EXTERIOR CLADDING TO HAVE OVERLAP OF MIN 50MM

**PROPOSED DWELLING ADDITIONS**

**FRAME CROSS SECTIONS**

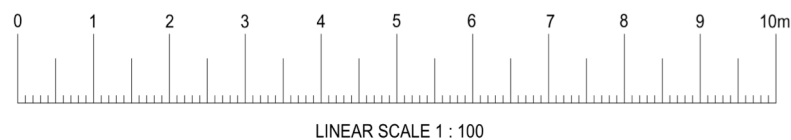
REVISIONS

MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---

**South Golden Studios**  
 26 Robin St  
 South Golden Beach  
 NSW 2483  
 PH - 02 6680 2286 / 0430 594 484



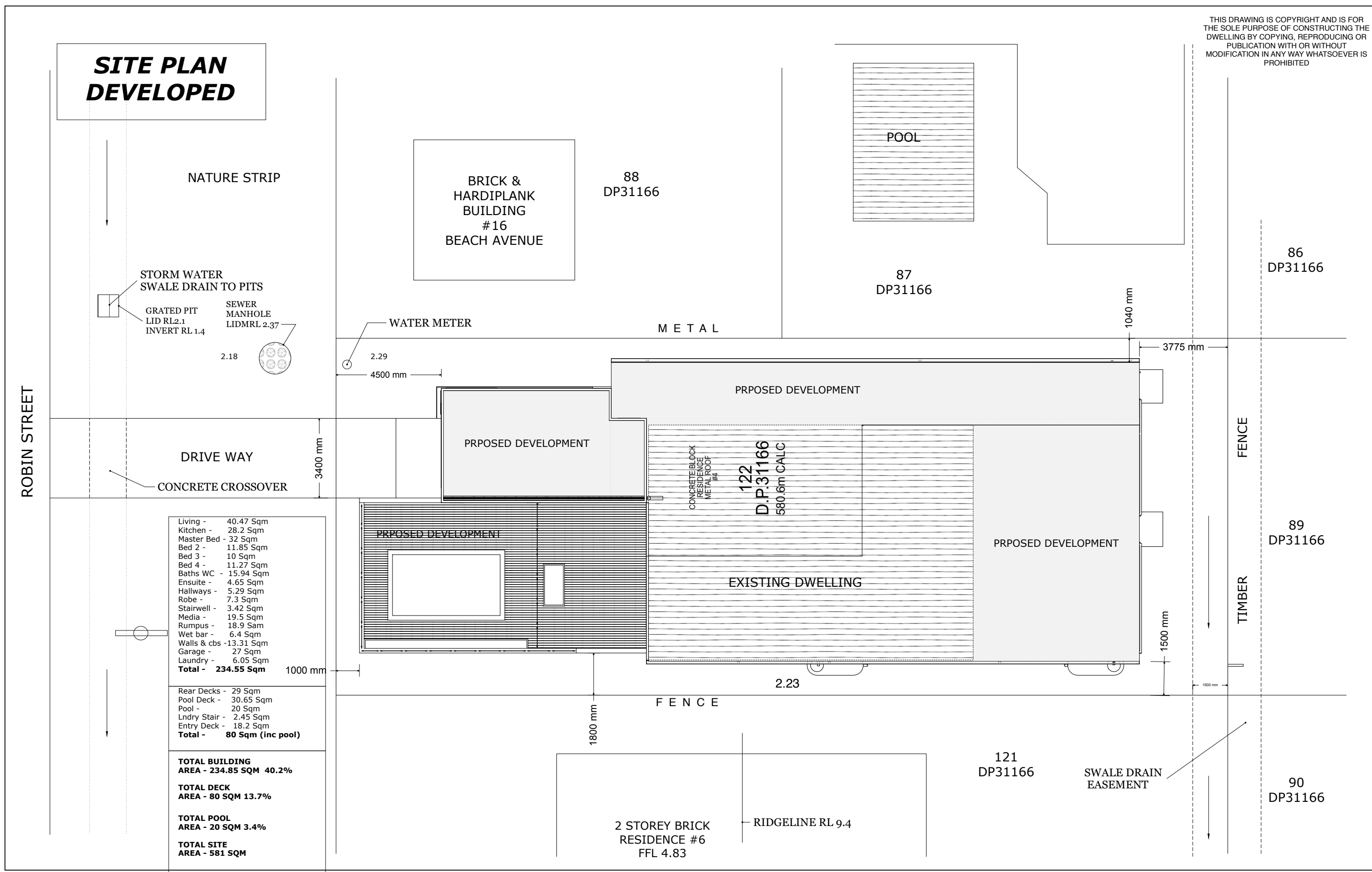
AW04011



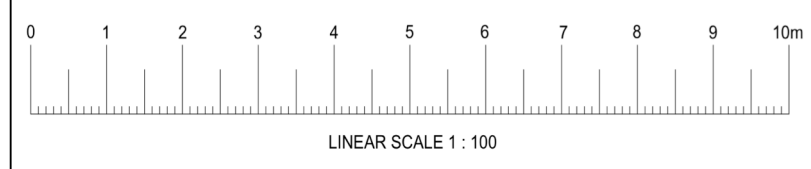
Client  
**ADRIAN & PETER WARLOW**  
 LOT 122 DP 31166  
 4 ROBIN ST  
 SOUTH GOLDEN BEACH  
 NSW, 2483

THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED

# SITE PLAN DEVELOPED



Living -	40.47 Sqm
Kitchen -	28.2 Sqm
Master Bed -	32 Sqm
Bed 2 -	11.85 Sqm
Bed 3 -	10 Sqm
Bed 4 -	11.27 Sqm
Baths WC -	15.94 Sqm
Ensuite -	4.65 Sqm
Hallways -	5.29 Sqm
Robe -	7.3 Sqm
Stairwell -	3.42 Sqm
Media -	19.5 Sqm
Rumpus -	18.9 Sam
Wet bar -	6.4 Sqm
Walls & cbs -	13.31 Sqm
Garage -	27 Sqm
Laundry -	6.05 Sqm
<b>Total -</b>	<b>234.55 Sqm</b>
1000 mm	
Rear Decks -	29 Sqm
Pool Deck -	30.65 Sqm
Pool -	20 Sqm
Lndry Stair -	2.45 Sqm
Entry Deck -	18.2 Sqm
<b>Total -</b>	<b>80 Sqm (inc pool)</b>
<b>TOTAL BUILDING AREA - 234.85 SQM 40.2%</b>	
<b>TOTAL DECK AREA - 80 SQM 13.7%</b>	
<b>TOTAL POOL AREA - 20 SQM 3.4%</b>	
<b>TOTAL SITE AREA - 581 SQM</b>	



Client  
**ADRIAN & PETER WARLOW**  
 LOT 122 DP 31166  
 4 ROBIN ST  
 SOUTH GOLDEN BEACH  
 NSW, 2483

**PROPOSED DWELLING ADDITIONS**  
**SITE PLAN DEVELOPED**

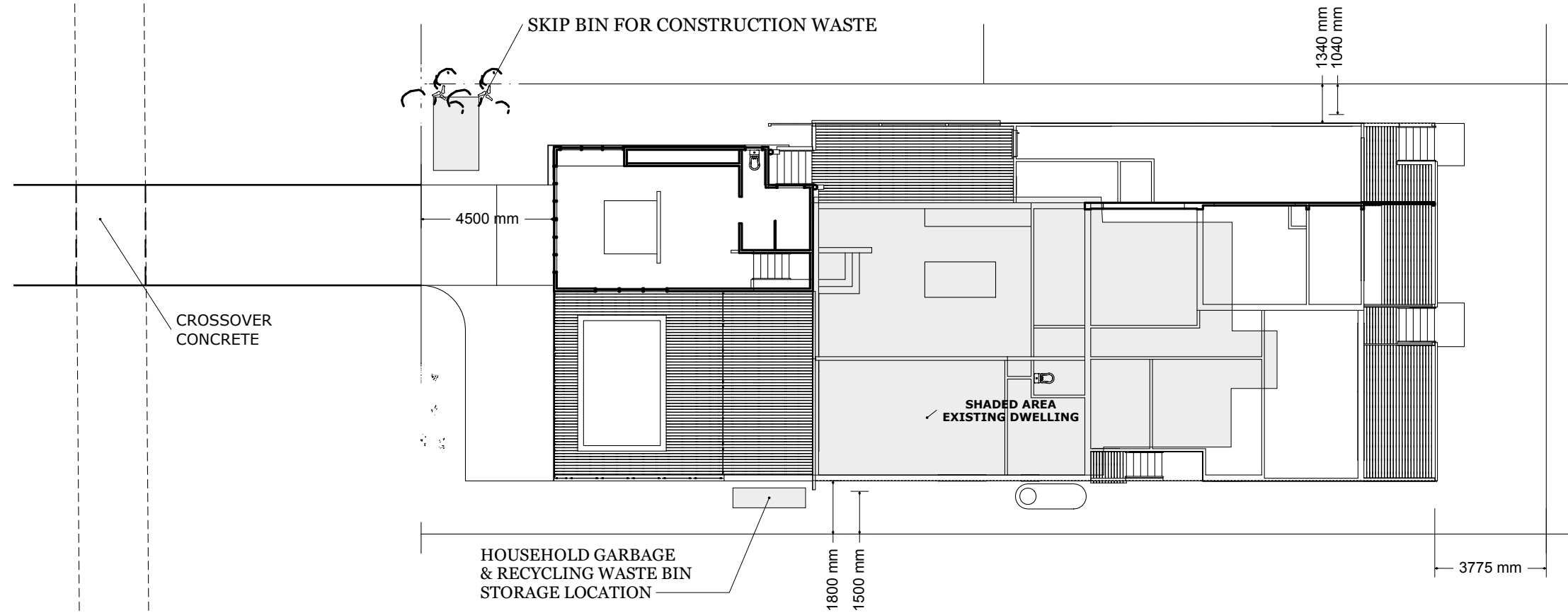
REVISIONS	
MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---

**South Golden Studios**  
 26 Robin St  
 South Golden Beach  
 NSW 2483  
 PH - 02 6680 2286 / 0430 594 484

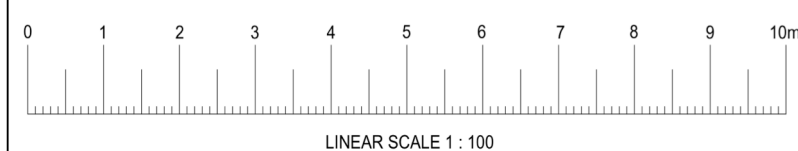


# BUILDERS & HOUSEHOLD WASTE PLAN

THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED



THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED



Client  
**ADRIAN & PETER  
WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

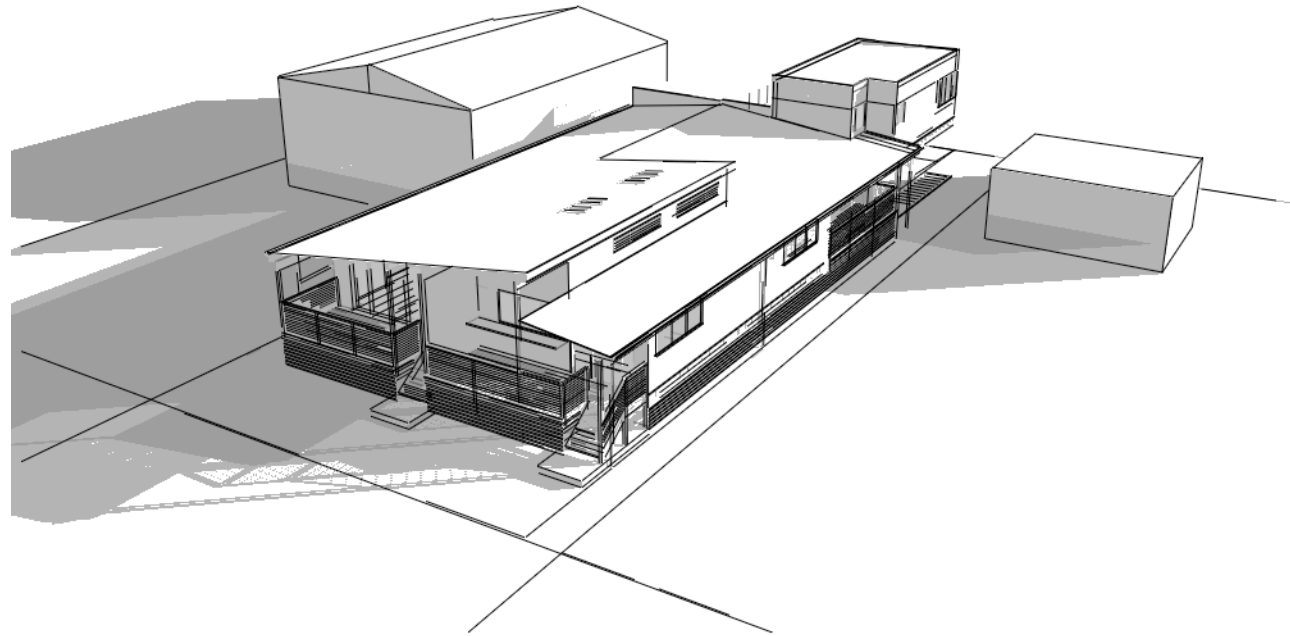
## PROPOSED DWELLING ADDITIONS BUILDERS & DOMESTIC WASTE PLAN

REVISIONS	
MM/DD/YY	REMARKS
1	---
2	---
3	---
4	---
5	---

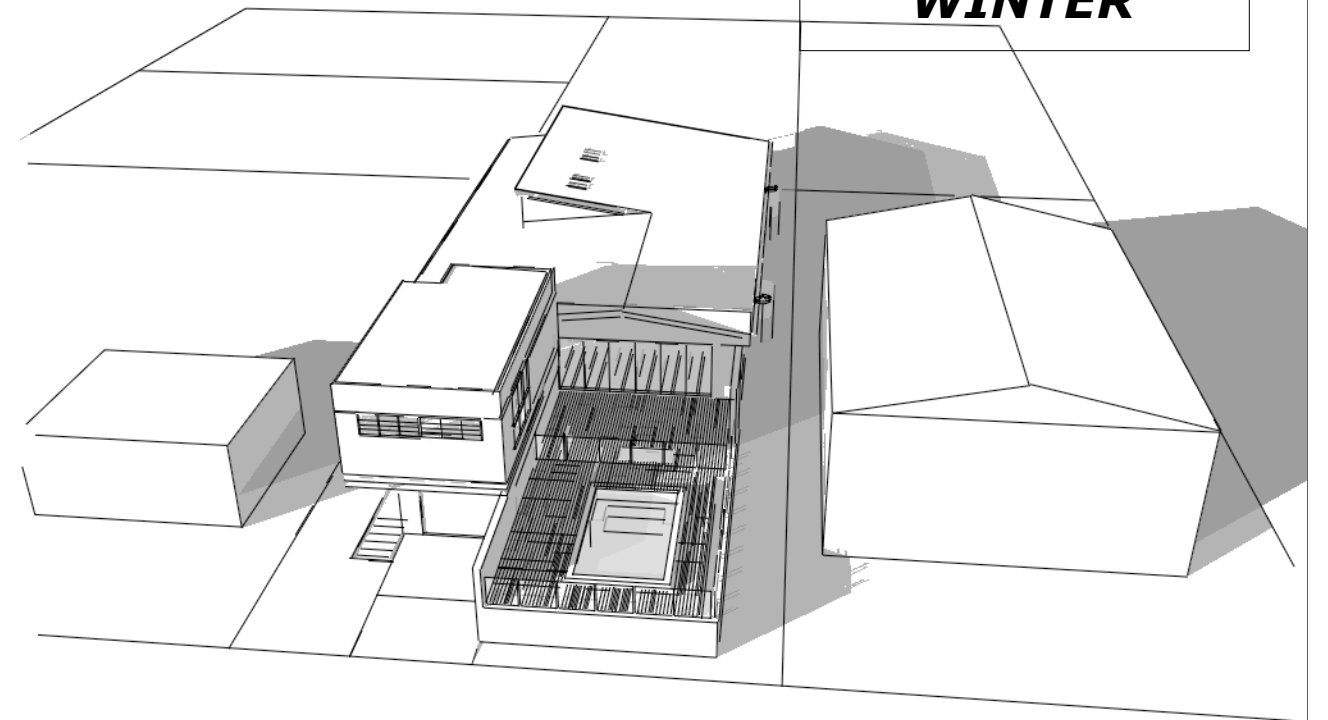
**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484



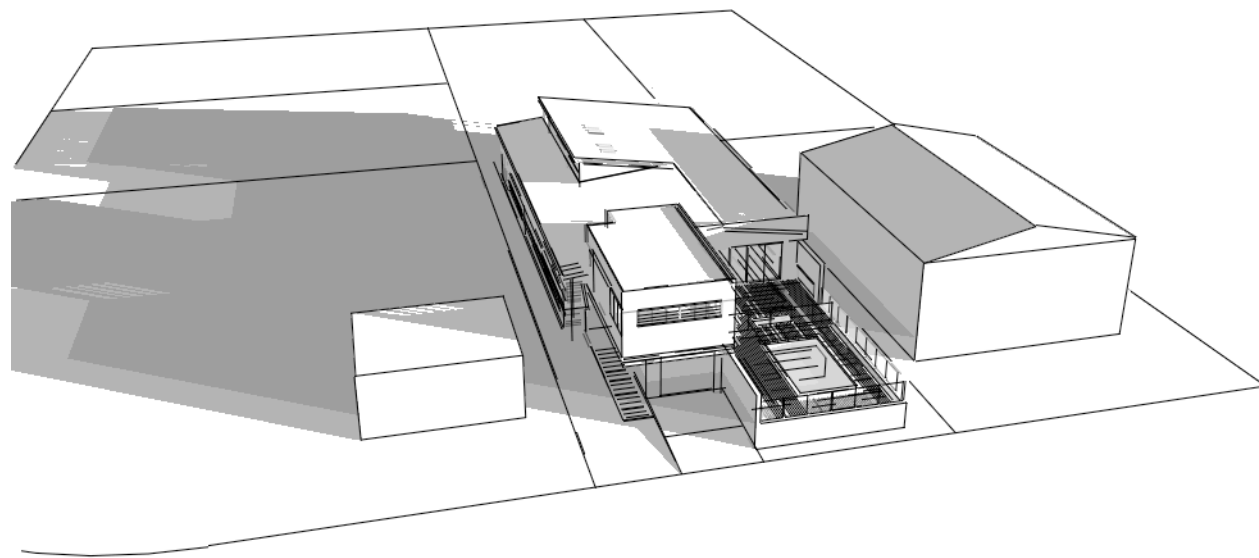
**SHADOW  
PLAN  
WINTER**



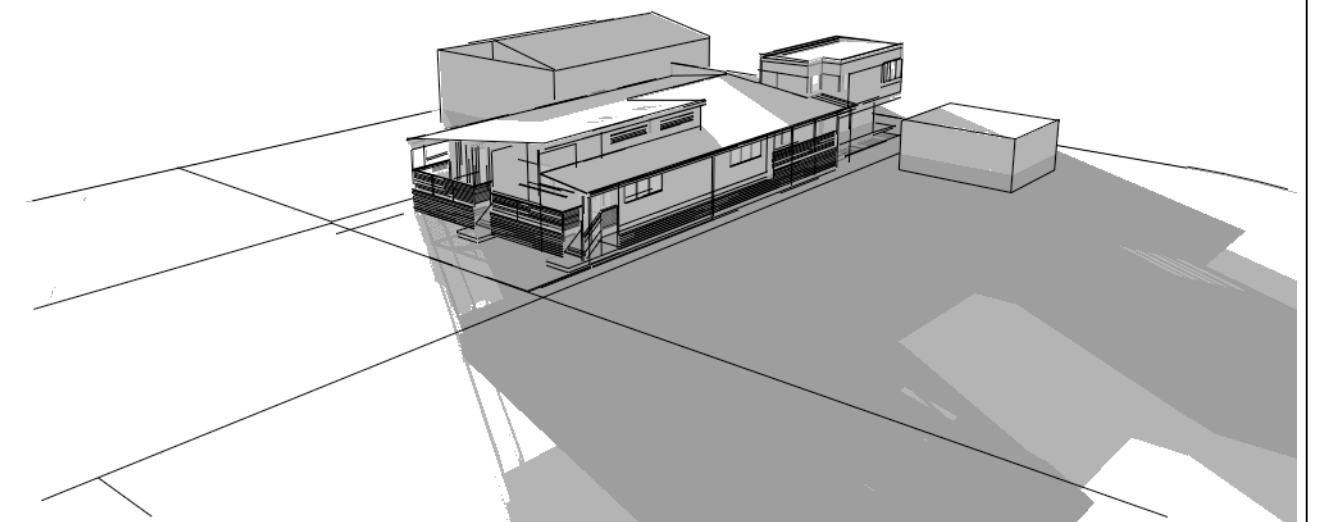
6AM SOUTH EAST ELEVATION



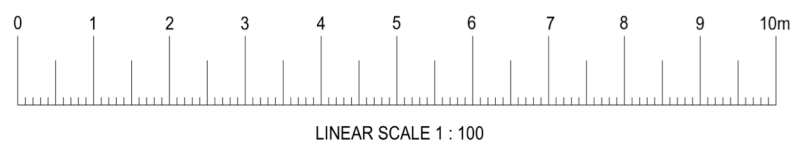
6AM NORTH ELEVATION



6PM NORTH EAST ELEVATION



6PM SOUTH EAST ELEVATION



Client  
**ADRIAN & PETER  
WARLOW**  
LOT 122 DP 31166  
4 ROBIN ST  
SOUTH GOLDEN BEACH  
NSW, 2483

**PROPOSED DWELLING  
ADDITIONS**

---

**SHADOW PLAN WINTER**

REVISIONS	
MM/DD/YY	REMARKS
1	---/---/---
2	---/---/---
3	---/---/---
4	---/---/---
5	---/---/---

**South Golden Studios**  
26 Robin St  
South Golden Beach  
NSW 2483  
PH - 02 6680 2286 / 0430 594 484



AW04010.2



# PARKING PLAN



- SINGLE GROUND FLOOR GARAGE  
 CONCRETE RAFT SLAB FLOOR  
 - CONCRETE DRIVEWAY TO BOUNDARY  
 - REFER TO SITE OVERLAY PLAN FOR NATURE STRIP  
 AND CROSSOVER TO ROAD ENTRY  
 - ADDITIONAL ROOM IS RESERVED FOR SECOND  
 PARKING SPACE  
 - 5500MM FROM FRONT BOUNDARY  
 AS PER BOUNDARY SETBACKS D1.2.2BDCP 2014

SINGLE CAR SPACE PER DWELLING REQUIRED  
 UNDER BYRON SHIRE DCP 2014 B.4.2.5 (BELOW)  
 AS2890 (RMS Guide to Traffic Generating  
 Developments) CHAPTER 5 BELOW

## 5.4.1 Dwelling houses.

### Definition.

A dwelling house is a building containing one, but no more than one dwelling. Parking.

A minimum of one parking space (preferably two) is recommended for dwelling houses. If there is dual occupancy on a residential lot, a minimum of two parking spaces is recommended.

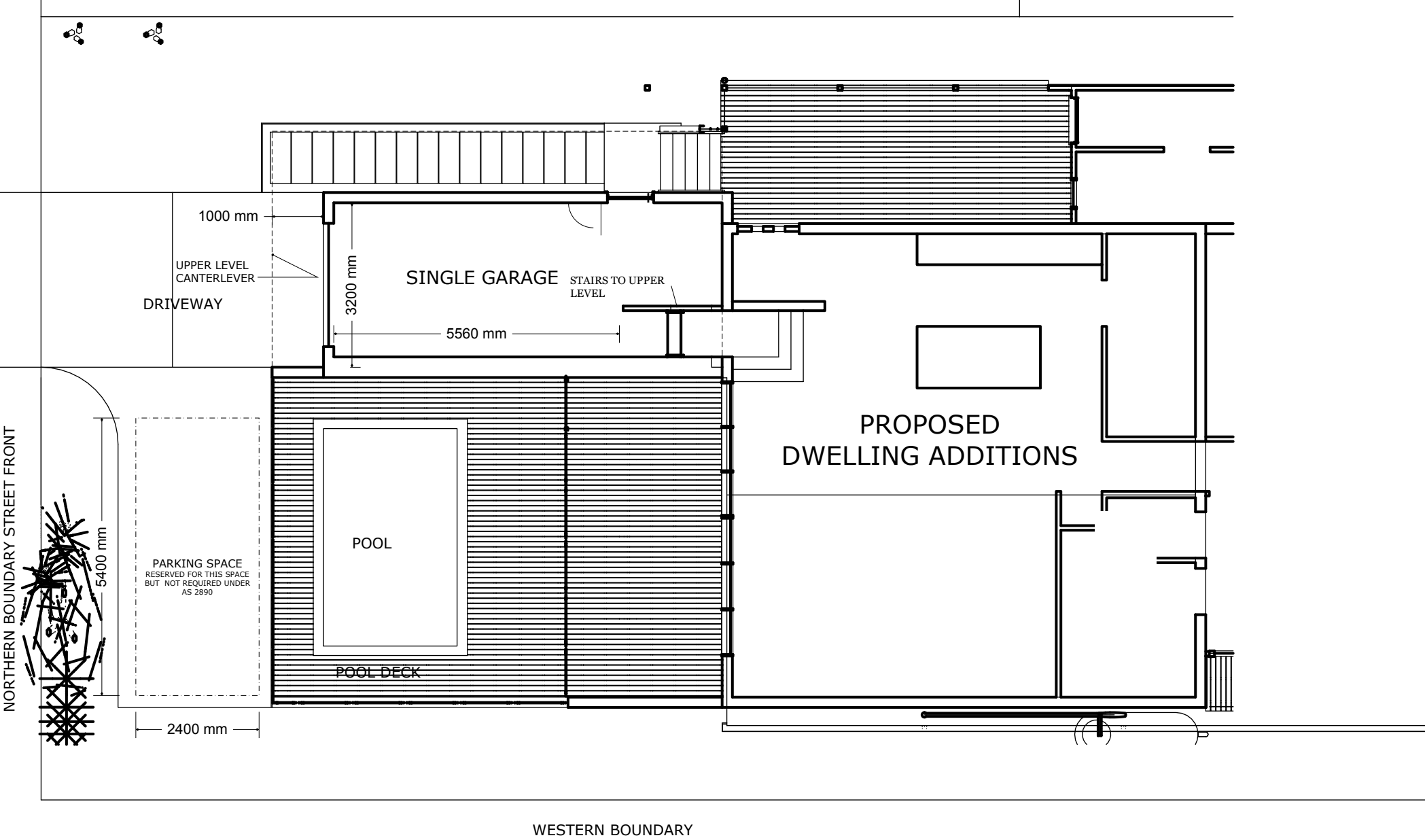
Parking requirements for dwelling houses can vary substantially between local government areas, due to varying levels of public transport accessibility as well as geographic and socio-economic factors.

### B4.2.5 Car Parking Requirements

1. Unless otherwise specified elsewhere in this DCP, car parking is to be provided in accordance with the schedule contained in Table B4.1
2. Where a proposed use is not represented in Table B4.1 or elsewhere in this DCP, the rates under the RMS Guide to Traffic Generating Developments (as amended from time to time by a superseding document prepared by RMS) will apply.
3. If a rate is not provided by the RMS Guide to Traffic Generating Developments (as amended from time to time by a superseding document prepared by RMS) a merit based assessment will apply. In such circumstances applicants are encouraged to review car parking rates for adjoining or surrounding Councils and to contact Council's Development Engineers as to what an appropriate rate may be.

THIS DRAWING IS COPYRIGHT AND IS FOR THE SOLE PURPOSE OF CONSTRUCTING THE DWELLING BY COPYING, REPRODUCING OR PUBLICATION WITH OR WITHOUT MODIFICATION IN ANY WAY WHATSOEVER IS PROHIBITED

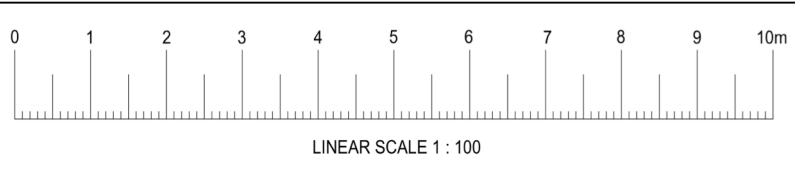
NORTHERN BOUNDARY STREET FRONT



## PROPOSED DWELLING ADDITIONS PARKING LAYOUT

REVISIONS	
MM/DD/YY	REMARKS
1 5/10/2021	...REVISED GARAGE/INTERNAL STAIR DESIGN
2	...
3	...
4	...
5	...

**South Golden Studios**  
 26 Robin St  
 South Golden Beach  
 NSW 2483  
 PH - 02 6680 2286 / 0430 594 484



Client  
**ADRIAN & PETER WARLOW**  
 LOT 122 DP 31166  
 4 ROBIN ST  
 SOUTH GOLDEN BEACH  
 NSW, 2483

AW04097