

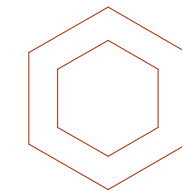
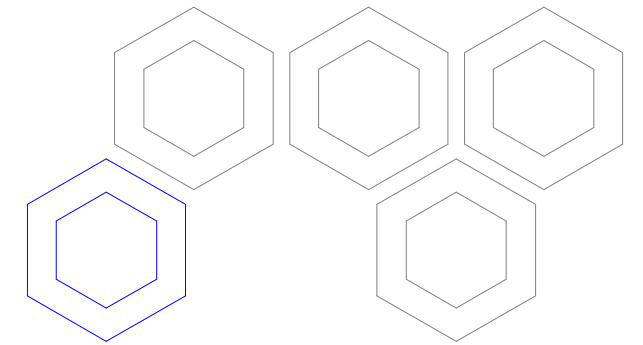
DEVELOPMENT APPLICATION

DRAWING SCHEDULE

TBP	00D
A	A
PROPOSED SITE PLAN	02
PROPOSED GROUND FLOOR PLAN	03
PROPOSED MEZZANINE FLOOR PLAN	04
PROPOSED ROOF PLAN	05
EAST AND WEST ELEVATIONS	06
BLOCK A NORTH AND SOUTH ELEVATIONS	07
BLOCK B NORTH AND SOUTH ELEVATIONS	08
SECTION VIEWS	09
3D VIEWS	10

ISSUE DETAILS

A	24.08.22	ISSUED FOR CLIENT APPROVAL
B	02.09.22	ISSUED FOR CLIENT APPROVAL
C	05.09.22	ISSUED FOR CLIENT APPROVAL
D	23.09.22	ISSUED FOR CLIENT APPROVAL
E	30.09.22	ISSUED FOR CLIENT APPROVAL



ADDITIONAL INFORMATION DA

A01	OWNER'S CONSENT FORM
A02	SURVEY PLAN
A03	BASIX & NATHERS CERTIFICATION
A04	STORMWATER PLAN
A05	LANDSCAPE PLAN
A06	STATEMENT OF ENVIRONMENTAL EFFECTS
A07	WASTE MANAGEMENT PLAN
A08	COST SUMMARY REPORT
A09	QUANTITY SURVEYORS REPORT



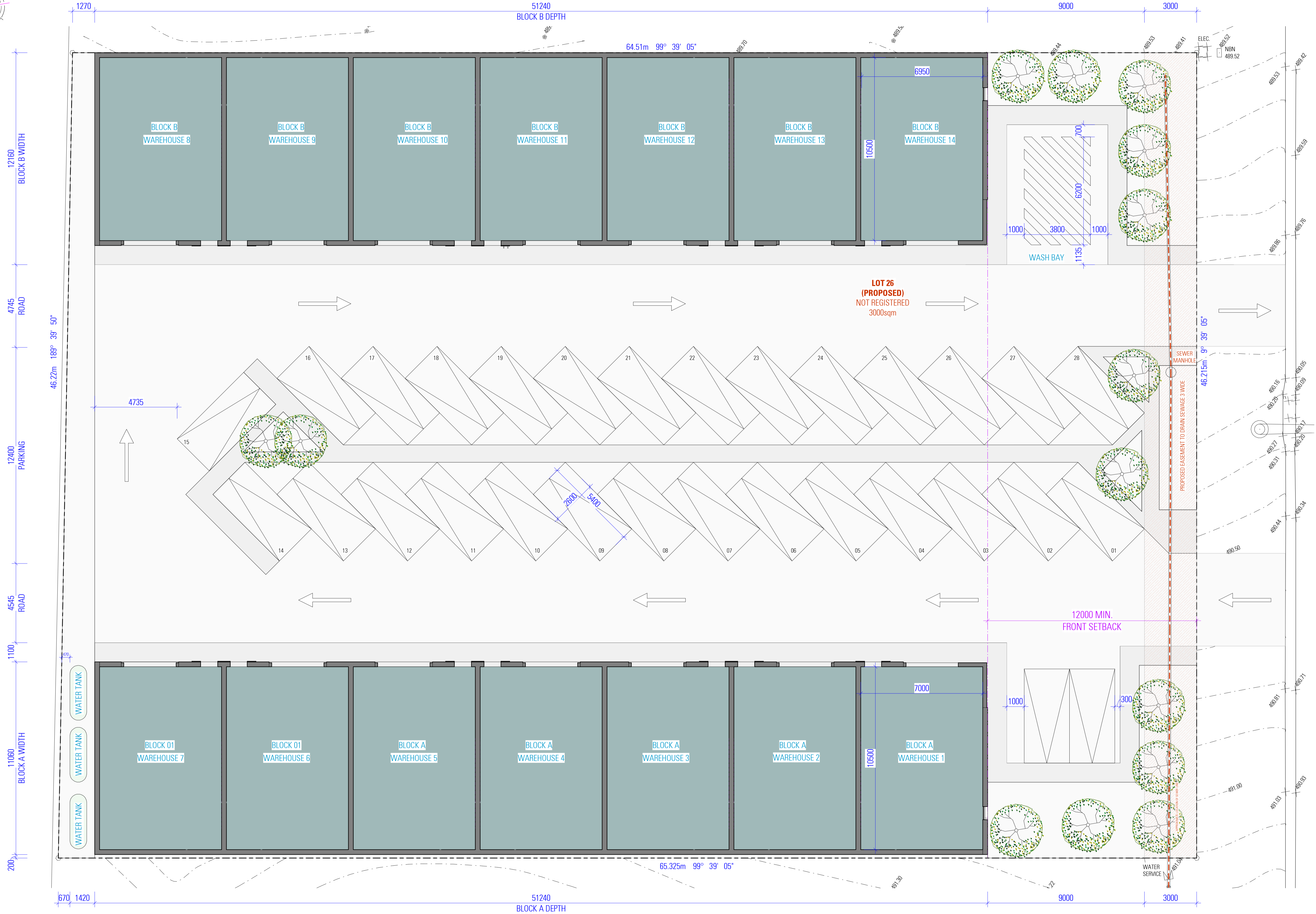
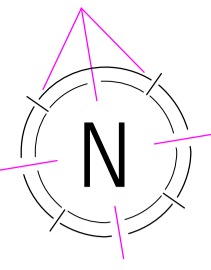
COMMERCIAL DEVELOPMENT

Lot 26, 38 Hill End Road,
CAERLEON NSW 2850

ED CROSSKILL



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BENCHMARK
STEEL BASE OF
LIGHT-POLE
RL 490.38

PROPOSED SITE PLAN

SITE LEGEND	
ITEM	SYMBOL
GROUND FLOOR AREA	
LINE OF FIRST FLOOR	
SITE BOUNDARY	

NOTES

1. ALL DIMENSIONS ARE IN METERS
2. VERIFY ALL DIMENSIONS ON SITE
3. VERIFY SCALE, USE FIGURED DIMENSIONS ONLY
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ARCHITECTS
PART OF THE GROUP

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PROPOSED SITE PLAN

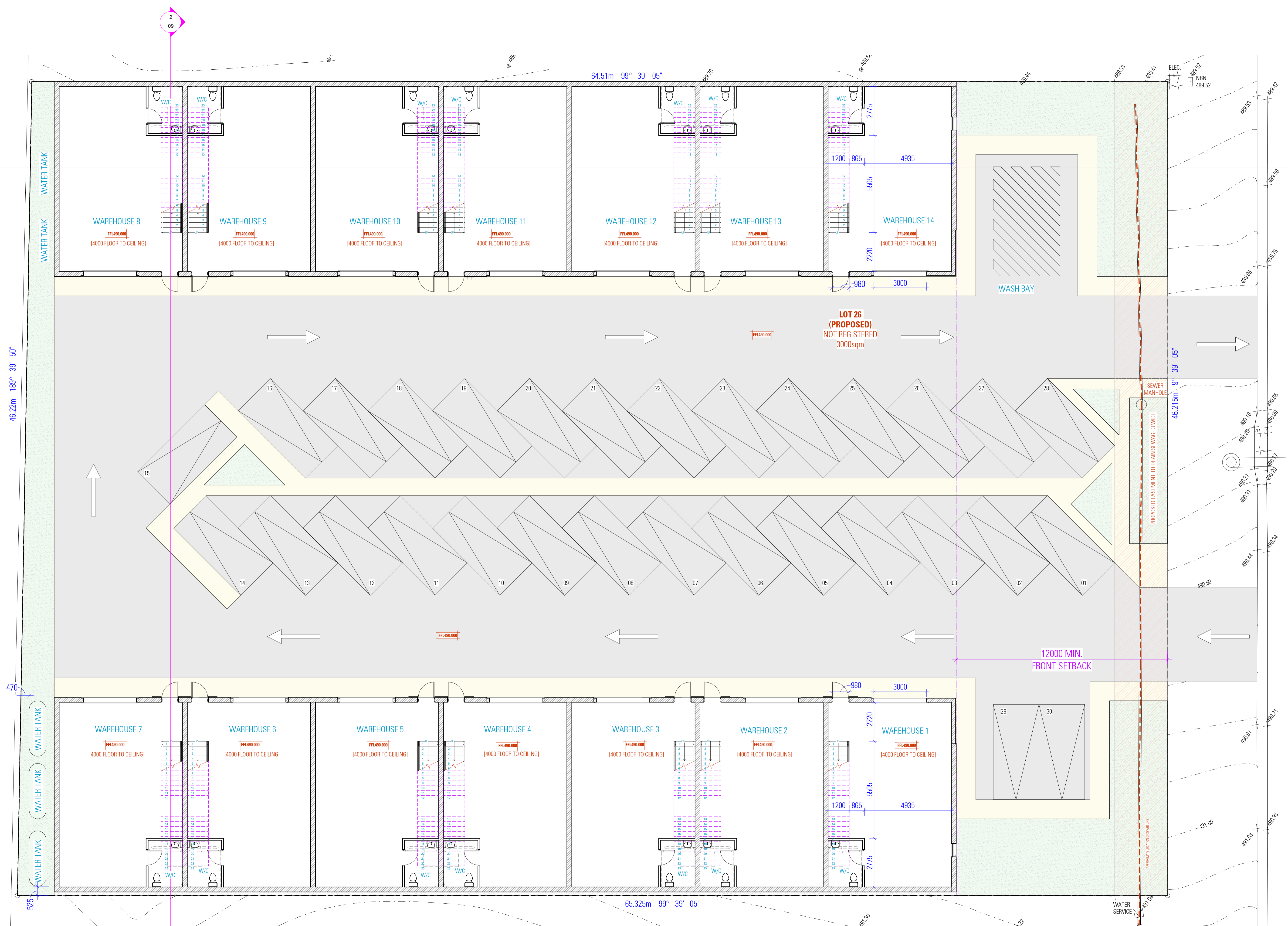
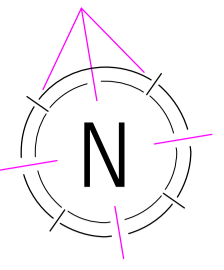
SCALE: 1:100 (A1)
E: 30.09.22

DESIGNER: MICHEL TOUBRA
JOYCE RAFOUL

ED: CROSSKILL

NOT FOR CONSTRUCTION

SWG No. 22323 - 02



PROPOSED GROUND FLOOR PLAN

NOTES:

- HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.5
- EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY (OR VIA A SHAFT OR DUCT) TO OUTDOOR AIR OR A VENTILATED ROOF SPACE IN ACCORDANCE WITH PART 3.8.7

NOTES:

- ALL DIMENSIONS ARE IN METERS
- DO NOT SCALE. USE FIGURED DIMENSIONS ONLY
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design **bdag**

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SCALE: 1:100/1 E: 30.09.22

ISSUE

ED: CROSSKILL

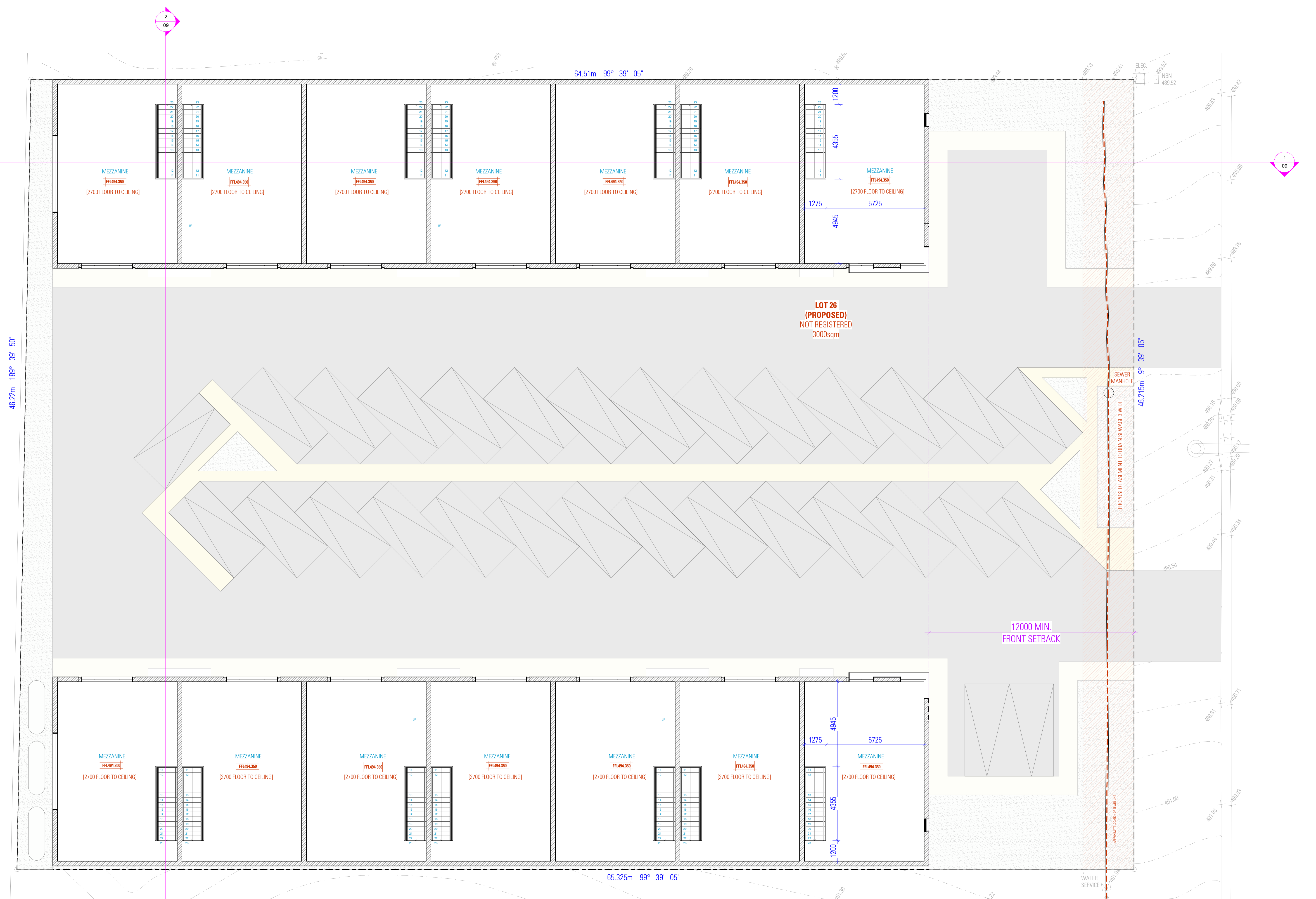
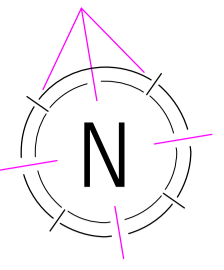
DESIGNER: MICHEL TOUBIA
DRAFTER: JOYCE RAFOUL

PROPOSED GROUND FLOOR PLAN

1:100/1 E: 30.09.22

SWG No. 22323 - 03

NOT FOR CONSTRUCTION



**LOT 26
(PROPOSED)
NOT REGISTERED
3000sqm**

PROPOSED MEZZANINE FLOOR PLAN

NOTES:

- HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.5
- EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY (OR VIA A SHAFT OR DUCT) TO OUTDOOR AIR OR A VENTILATED ROOF SPACE IN ACCORDANCE WITH PART 3.8.7

NOTES:

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design **bdqa**

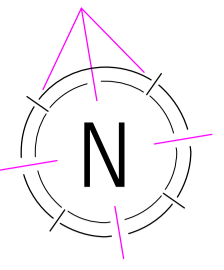
DESIGNER: MICHEL TOUBIA
DRAFTER: JOYCE RAFOUL

SCALE: 1:100/1
DATE: 20.09.22

PROPOSED MEZZANINE FLOOR PLAN

ESW No. 22323 - 04

NOT FOR CONSTRUCTION

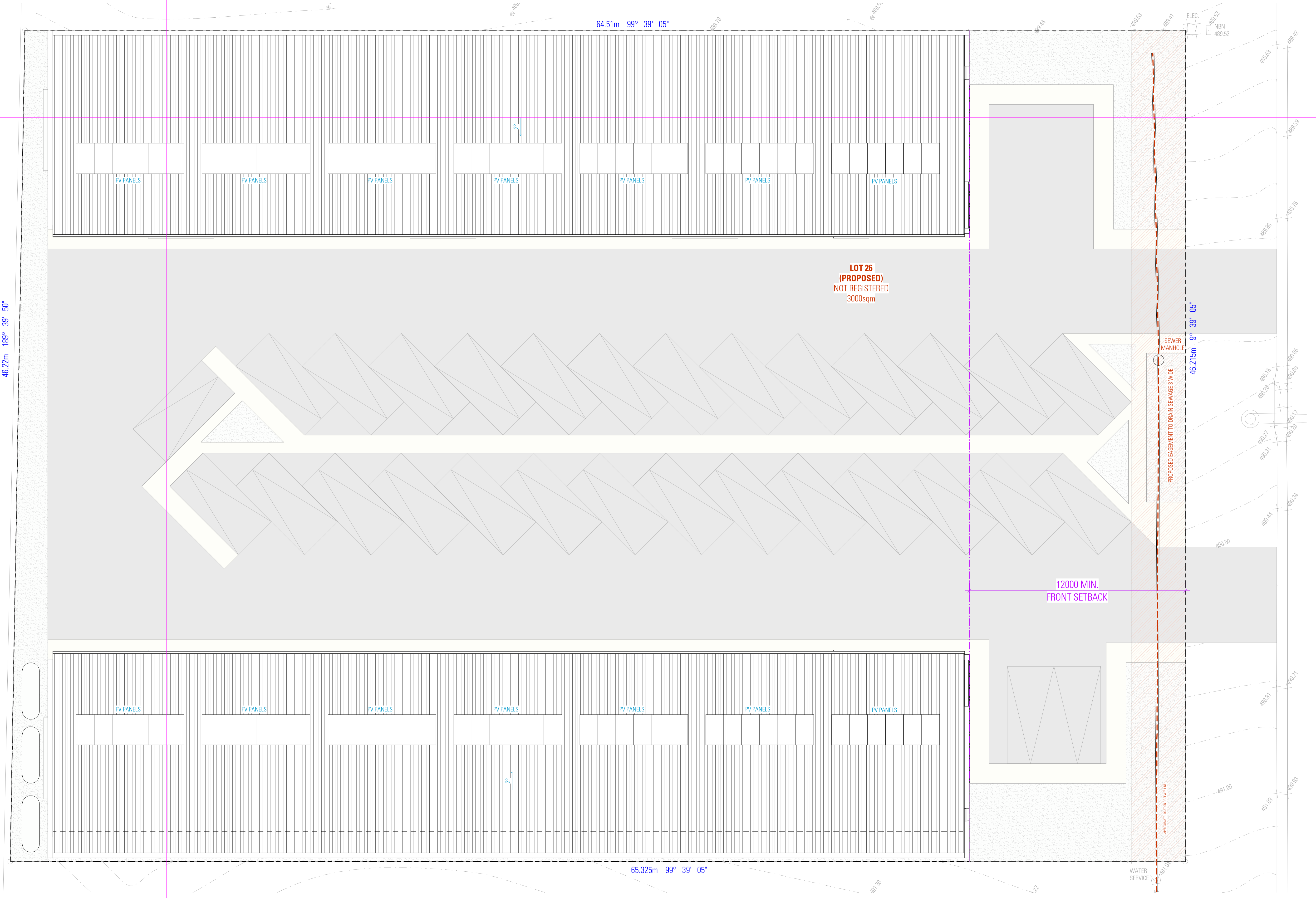


2
09

1
09

1
09

2
09



PROPOSED ROOF PLAN

NOTES:

- HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.5
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NOTES:

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design **bdqa**

COMMERCIAL DEVELOPMENT **PROPOSED ROOF PLAN**

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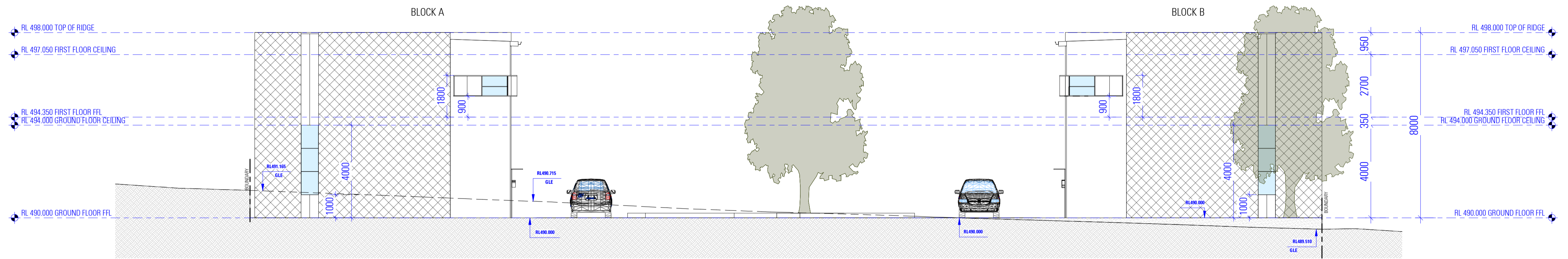
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E: 20.09.22

DESIGNER: MICHEL TOUBRA
DRAWN BY: JOYCE RAFOUL
ED. CROSSKILL

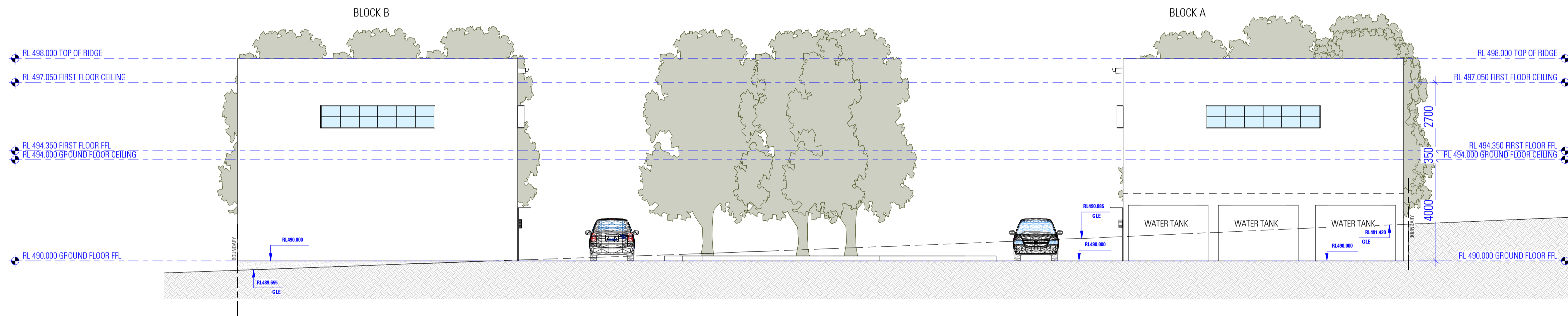
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PROJECT NO.: 22323 - 05

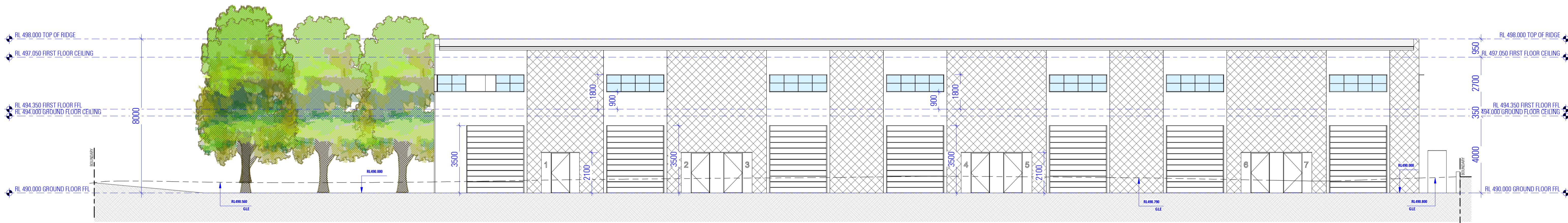
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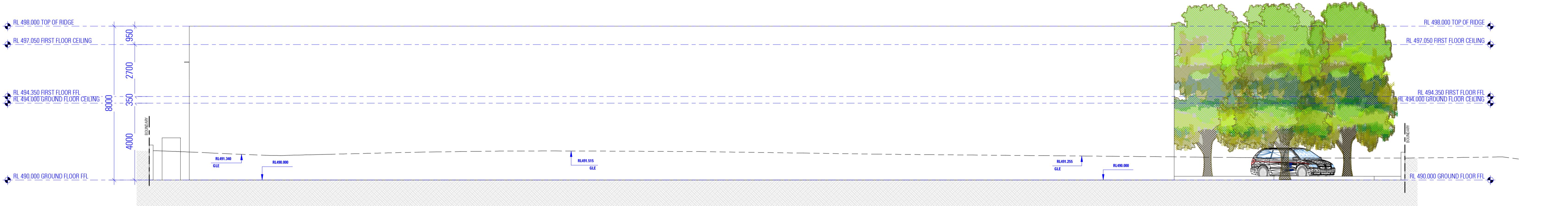
EAST ELEVATION
AS SEEN FROM HILL END ROAD



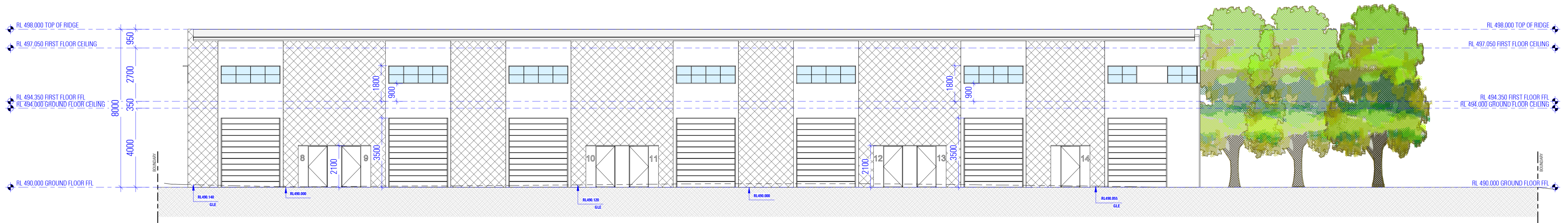
WEST ELEVATION



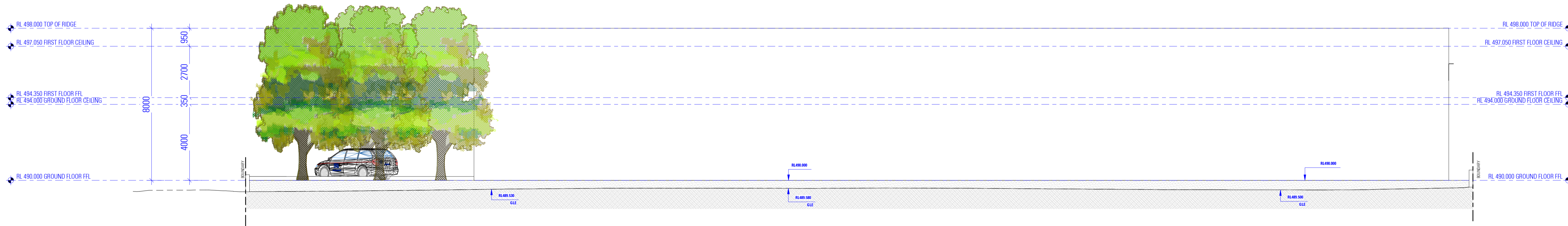
BLOCK A - NORTH ELEVATION



BLOCK A - SOUTH ELEVATION



BLOCK B - SOUTH ELEVATION



BLOCK B - NORTH ELEVATION

NOT FOR CONSTRUCTION

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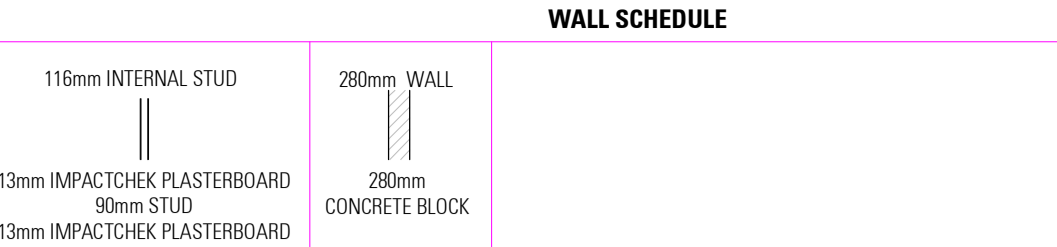
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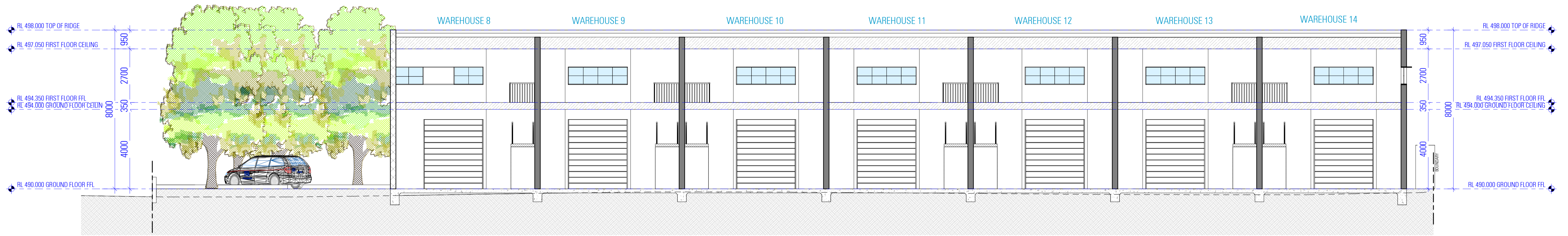
DESIGN MICHEL TOUBRA
DRAWN JOYCE RAFOUL
ED CROSSKILL

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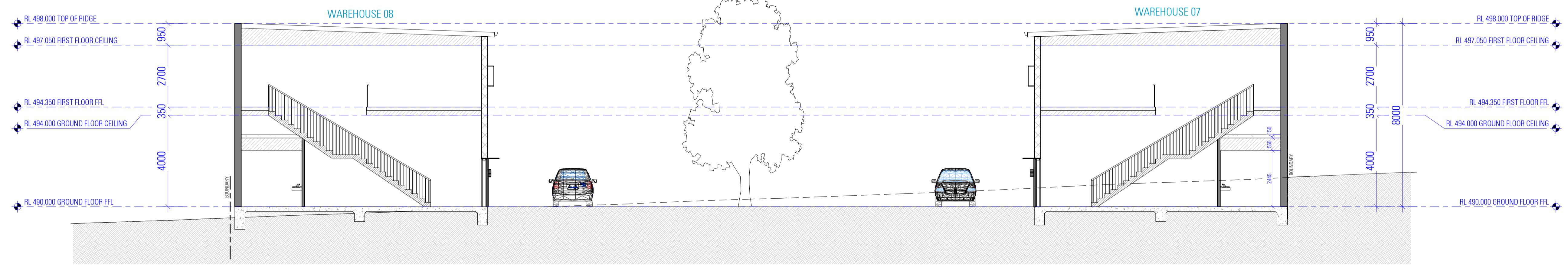
DRAWING BLOCK B NORTH AND SOUTH ELEVATIONS
SCALE 1:100/A1
DATE 20.09.22
ISSUE
SWG No. 22323 - 08



NOTES
 1. THIS SCHEDULE DETAILS MAIN WALL COMPONENTS ONLY AND THE MEASUREMENTS GIVEN DO NOT INCLUDE RENDER, PLASTER OR THE LIKE. THEY ARE PROVIDED FOR 'CONSTRUCTION' PURPOSES AND SUCH DO NOT REPRESENT THE FINAL WALL THICKNESS.
 2. EXISTING WALLS SHOWN SOLID HATCHED.
 3. THE ITEMS PROVIDED ABOVE ARE A GENERAL LIST OF WALL TYPES. VERIFY ALL DISCREPANCIES WITH THE DESIGNER BEFORE COMMENCING CONSTRUCTION.



Section 1



Section 2

EARTHWORKS
NATIONAL CONSTRUCTION CODE (NCC)
 • EARTHWORKS AND EXCAVATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.1.1

STORM WATER
 • POWDER COATED ALUMINIUM GUTTERS & DOWNPIPES
 • REFER TO STORMWATER PLAN FOR ALL SITE DRAINAGE
 • RETAIN AND CALCULATIONS

NATIONAL CONSTRUCTION CODE (NCC)
 • DRAINAGE IS TO BE IN ACCORDANCE WITH PART 3.1.3
 • ROOF WALL CLADDING, GUTTERS & DOWNPIPES ARE TO COMPLY WITH PART 3.5

AUSTRALIAN STANDARD (AS)
 • FINISHING ALLOWANCE - AS 3500

TERMITES PROTECTION
NATIONAL CONSTRUCTION CODE (NCC)
 • PROTECTION MUST BE IN ACCORDANCE WITH PART 3.1.4

AUSTRALIAN STANDARD (AS)
 • TERMITE PROTECTION - AS 3601

FOUNDINGS
 • PROPOSED FOUNDINGS TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER

NATIONAL CONSTRUCTION CODE (NCC)
 • FOUNDINGS AND SLABS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PART 3.2

AUSTRALIAN STANDARD (AS)
 • RESIDENTIAL SLABS & FOOTINGS - AS 2890

GLAZING
 • PROVIDED FLOOR CONSTRUCTION TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER
 • ALL PROVIDE VERANDA'S AS THE USE TO HAVE A 85mm STEPCROWN FROM INTERNAL AREAS UNLESS NOTED OTHERWISE

• FOR ALL REDUCED LEVELS REFER TO FLOOR PLANS (ENGINEERS DETAILS TO SUPPLEMENTED CONFIRM WITH DESIGNER)

AUSTRALIAN STANDARD (AS)
 • RESIDENTIAL SLABS & FOOTINGS - AS 2890
 • CONCRETE STRUCTURES - AS 3600

WALLS
NATIONAL CONSTRUCTION CODE (NCC)
 • ALL FRAMING IS TO BE IN ACCORDANCE WITH PART 3.4
 • ALL MASONRY IS TO COMPLY WITH PART 3.5
 • SOUND INSULATION IS TO BE IN ACCORDANCE WITH PART 3.5.1

AUSTRALIAN STANDARD (AS)
 • MASONRY CONSTRUCTION - AS 3700
 • RESIDENTIAL TIMBER FRAMED CONSTRUCTION - AS 1684
 • TIMBER STRUCTURES - AS 1720
 • CONCRETE METAL FRAMING - AS 3923

STRUCTURE
NATIONAL CONSTRUCTION CODE (NCC)
 • STRUCTURE DESIGN IS TO BE IN ACCORDANCE WITH ACCEPTABLE CONSTRUCTION MANUALS AS LISTED IN PART 3.1.1

AUSTRALIAN STANDARD (AS)
 • SKULLING CODES - AS 1710
 • DAMP PROOF COURSES AND FLASHINGS - AS/NZS 2904
 • STEEL STRUCTURES - AS 410
 • ALUMINIUM STRUCTURES - AS 1664
 • SAA MASONRY CODE - AS 3700

AUSTRALIAN STANDARD (AS)
 • WINDOWS IN BUILDINGS - AS 2047
 • GLASS IN BUILDINGS - AS 1288

ROOFING
NATIONAL CONSTRUCTION CODE (NCC)
 • ROOF CLADDING SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.5.1

AUSTRALIAN STANDARD (AS)
 • INSTALLATION OF ROOF TILES - AS 2900
 • DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING - AS 192.1

PIPE
NATIONAL CONSTRUCTION CODE (NCC)
 • FIRE SAFETY IN ACCORDANCE WITH PART 3.7
 • FIRE SEPARATION IS TO BE IN ACCORDANCE WITH PART 3.7.2
 • HARD WHEED PHOTO ELECTRIC SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.5

AUSTRALIAN STANDARD (AS)
 • SINGLE PIPEWORK - AS 3796

HEALTH & AMENITY
 • ALL BATHROOM, ENSUITES AND LAUNDRIES TO HAVE FLOOR WASTES AND BE SETDOWN AND WATERPROOFED

SALE MOVEMENT & ACCESS
NATIONAL CONSTRUCTION CODE (NCC)
 • STAIRS SHALL BE CONSTRUCTED TO AS TO COMPLY WITH PART 3.8.1

• ALL BALUSTRADES TO BE A MINIMUM 1000mm ABOVE FINISHED FLOOR LEVEL AND RAILS TO BE SPACED SO AS TO PREVENT A 125mm SPHERE PENETRATING THROUGH AND TO COMPLY WITH PART 3.8.2

• WINDOW BARRIERS ARE REQUIRED FOR OPENABLE WINDOWS IN EARLY CHILDHOOD CENTRES AND IN BEDROOMS OF RESIDENTIAL BUILDINGS WHERE THE FLOOR BELOW THE WINDOW IS MORE THAN 2m ABOVE THE SURFACE BENEATH TO MEET BCA 3.8.2.6

• THE WINDOW IS TO BE FITTED WITH EITHER A DEVICE TO RESTRICT THE WINDOW OPENING, OR A SUITABLE SCREEN, SO A 125mm SPHERE CANNOT PASS THROUGH

• THE DEVICE OR SCREEN CAN HAVE A CHILD RESISTANT RELEASE MECHANISM (E.G. A KEY LOCK) WHICH CAN ENABLE THE DEVICE OR SCREEN TO BE REMOVED, UNLOCKED OR OVERSEEN, ISO FOR EXAMPLE, THE WINDOW CAN BE CLEANED)

• A BARRIER IS NOT REQUIRED FOR WINDOWS 1.7m OR MORE ABOVE THE FLOOR LEVEL

AUSTRALIAN STANDARD (AS)
 • SLIP RESISTANCE OF WET AREAS AS 4854 PARTS 1 AND 2
 • BUILDING SURFACES - AS 1193.1
 • SLIP RESISTANCE OF PEDESTRIAN SURFACES - AS/NZS 3861.2
 • FROD PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS - AS 1857

EXTERNAL FINISHES
 • REFER TO SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES FOR MORE DETAILS

NATIONAL CONSTRUCTION CODE (NCC)
 • ROOF WALL CLADDING, GUTTERS & DOWNPIPES ARE TO COMPLY WITH PART 3.5

AUSTRALIAN STANDARD (AS)
 • GUIDE TO THE FINISHING OF BUILDINGS - AS 2311

INTERNAL FINISHES
NATIONAL CONSTRUCTION CODE (NCC)
 • HEATING APPLIANCES ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.7

AUSTRALIAN STANDARD (AS)
 • INTERIOR LIGHTING - AS 1680
 • CEILING TILES - AS 3958

LANDSCAPE
 • REFER TO LANDSCAPE PLAN FOR ALL PLANTING AND OUTDOOR SURFACE TREATMENTS

BUSHSIRE
 • THE RECOMMENDATIONS PROVIDED WITHIN THE BUSHSIRE ASSESSMENT REPORT ARE TO BE ADHERED TO, IN THE EVENT THAT THERE ARE INCONSISTENCIES, THE BUSHSIRE REPORT RECOMMENDATIONS ARE TO TAKE PRECEDENCE

NATIONAL CONSTRUCTION CODE (NCC)
 • BUSH-FIRE AREAS ARE TO BE IN ACCORDANCE WITH PART 3.9.2

AUSTRALIAN STANDARD (AS)
 • CONSTRUCTION OF BUILDINGS IN BUSH-FIRE PRONE AREAS - AS 3599

GENERAL
 TYPICAL PROTECTION IS TO BE IN ACCORDANCE WITH PART 3.1.4

AUSTRALIAN STANDARD (AS)
 • ELECTRICAL SERVICES - AS/NZS 3000
 • GAS INSTALLATIONS - AS 3801
 • OFF STREET CAR PARKING - AS 2881.1
 • FLEXIBLE BUILDING MEMBRANES & UNDERLAYS - AS/NZS 4200.1

THE DEVELOPMENT HAS BEEN DESIGNED TO BEST MEET THE GUIDELINES OF COUNCIL & THE NATIONAL CONSTRUCTION CODE (ALL WORK ON SITE SHALL BE CARRIED OUT IN A SIMILAR MANNER TO ADHERE TO THE REQUIREMENTS OF COUNCIL AND THE NCC)

MINOR CHANGES TO BUILDING FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT

NOTES
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COMMERCIAL DEVELOPMENT
 Lot 26, 38 Hill End Road,
 CAERLEON NSW 2850

SCALE 1:100/A3
 1:50/B2

DATE 20.09.22

NOT FOR CONSTRUCTION

SECTION VIEWS

DESIGN MICHEL TOUBA
DRAWN JOYCE RAFOUL

SCALE 1:100/A3
 1:50/B2

DATE 20.09.22

DWG NO. 22323 - 09



3D View 1



3D View 2



3D View 3



3D View 4